

**TECHNICON DESIGN GROUP INC.**

1800 N. Perry Street, Suite 102

Ottawa, Ohio 45875

Phone: 419.523.5323

email: info@technicondesigngroup.com

DATE: 02/21/2019**PROJECT NUMBER:** 15-2395-18**PROJECT NAME:** VILLAGE OF ADA - MUNICIPAL BUILDING INTERIOR ALTERATIONS**INTENT:**

This Addendum provides modifications and clarifications to the Bid Documents dated **02/01/2019**. Bidder shall ascertain prior to submitting its Bid Form that it has received all Addenda issued and shall acknowledge receipt of each Addendum on the Bid Form.

In the event of a conflict between the terms and provisions of this Addendum and the terms and provisions of the Bidding Documents, the terms and provisions of this Addendum shall control. In all other respects, the Bidding Documents shall remain unchanged and in full force and effect.

ITEM	ADD DOCUMENT	CD REFERENCE	DESCRIPTION
GENERAL:			
1	PRE-BID MINUTES / SIGN-IN SHEETS		ADD: Pre-Bid Minutes / Sign-In Sheets from meeting held on February 20, 2019. THESE MINUTES SHALL BE PART OF THE CONTRACT DOCUMENTS.
SPECIFICATIONS:			
2	011000 - SUMMARY REVISED	011000 - SUMMARY	DELETE SECTION 011000 - SUMMARY in its entirety and INSERT SECTION 011000 - SUMMARY REVISED .
3		075419 - (PVC) ROOFING	DELETE Subparagraph 2.3.A.1, a thru d and INSERT the following: The existing roof assembly is warranted under a Duro-Last warranty. The contractor shall retain a Duro-Last certified roof contractor to perform the roof membrane work indicated on the drawings.
4	PRODUCT BROCHURE	102800 - SECTION 2.2	REVISE 2.2, A., 2. from Brocar Products, Inc. to Foundations World Wide, Inc. for baby changing station. See attached brochure.
ARCHITECTURAL:			
5	D101a SKETCH	D101	ADD: See attached Sketch D101a for wall demolition clarification.
6		I101	CLARIFICATION: At Elevator 100, install 3/8" thick porcelain tile (PT1) over setting bed over 1/2" thick cement board underlayment over 1/4" thick cement board underlayment at elevator car floor as required to be as close to flush as possible with elevator car sill offset of 1 1/4".

END OF ADDENDUM 02



PRE-BID MEETING MINUTES

PROJECT: Village of Ada – Municipal Building Interior Alterations
DATE: February 20, 2019
TIME: 10:00 a.m.
PLACE: Village of Ada Council Chambers – 115 W. Buckeye Avenue, Ada, Ohio

INTRODUCTIONS:

- All in attendance signed Attendance Sheet – see copy attached

BID DATE:

- Wednesday, March 6, 2019 at 10:00 a.m.
- Received at Village of Ada Council Chambers – 115 West Buckeye Avenue, Ada, Ohio
- Cost estimate is \$615,950.00 for Project Base Bid
- There is a \$500.00 allowance for a new wall mounted data/com cabinet
- There is an Alternate #1 for replacement of two HVAC split-systems. Cost estimate if \$24,000.00

QUESTIONS (RFI):

- E-mail to info@technicondesigngroup.com Copy: kevinw@technicondesigngroup.com
- All questions to Architect by 2:00 p.m. on Wednesday, February 27, 2019

BID FORM AS PUBLISHED:

- Submit in Duplicate (2)
- Acknowledge Addendum(s)

SUBMIT AT MINIMUM:

- Bid Form (Stipulated Sum Single-Prime Contract) – signed and completed
- Performance and Payment Bond or Bid Security Form (as noted on page 2 of the Supplemental Instructions to Bidders found in Project Manual)

REVIEW PROJECT SCOPE:

Construction of interior alterations to the existing two-story building with basement. New work shall include (but is not limited to) the following:

1. Site work including site clearing as indicated for a new concrete pad for generator, patching of existing payment, if required, as indicated on the drawings.
2. Demolish existing police department, partitions, ceilings, doors, corridor closet, remove slab, 2nd floor concrete deck, roof structure to permit construction of new elevator shaft, men's and women's main floor restroom fixtures, partitions, and doors as indicated on drawings.
3. Interior finish work including installation of a new elevator and C.M.U. shaft, metal stud framed construction of walls, insulation, gypsum board walls and ceilings, doors, frames and hardware assemblies, acoustic ceiling systems, soffits / bulkheads, paint, floor coverings, casework, new stairway with railing, etc. as indicated on drawings. Membrane roof at top of elevator shaft and flashing shaft penetration into existing roof system, modification of existing steel roof joists and repair of remaining plaster ceiling at 2nd floor.
4. Remove brick at west wall exterior façade masonry and repair as necessary at new window openings and remove aluminum framed canvas canopies as indicated on drawings.
5. Mechanical systems for heating, ventilating and air conditioning systems as indicated on drawings. Demolition of existing police department HVAC units and ductwork. Minor modifications to existing ductwork for revised main floor spaces.
6. Electrical work including reworking of existing electrical service, panel, new sub-panels, generator, new lighting, devices, raceways, data/com cabling, raceways, etc. as indicated on drawings.

TECHNICON DESIGN GROUP INC.

7. Plumbing work for new fixtures, DWV piping, waterlines, macerator unit at holding cell, natural gas line for new mechanical unit, generator, etc. as indicated on drawings.

TIMELINE:

- The Bids shall remain valid and open for acceptance for a period of 60 days after the bid opening.
- Construction work shall start on date established in the Notice to Proceed. All work shall be substantially complete in **180** consecutive days.
- Last addendum will be issued no later than 72 Hrs. (3 working days) prior to bid due date – Friday, March 1, 2019 by 10:00 am. **Any addendum(s) will be distributed via our website www.technicondesigngroup.com/plan-room**

GENERAL NOTES:

- Final Plan Approval has been received by the Architect from Ohio Department of Commerce for Building, Mechanical and Electrical work. The plumbing subcontractor shall secure the plumbing permit from AHJ and pay all associated fees. The elevator subcontractor shall secure the elevator permit from the AHJ and pay all associated permit fees. The Owner shall secure any local zoning permits required.
- Special Inspections – None Required
- Asbestos and Lead Paint Inspection: The Owner has retained the services of an environmental company to conduct a review of the existing facility for asbestos and lead paint. The report is not yet complete, but we do know there is some asbestos pipe insulation above the suspended ceiling in the existing police station. The lead report has some areas / materials with elevated lead levels, mostly on wood painted trim and base. Once the report is complete, the Owner will address the abatement with the environmental company. The successful bidder may need to coordinate abatement with the environmental company. The Owner shall retain the environmental company under a separate contract.
- Jamie Hall, Village Administrator first indicated there would be weekly job progress meetings. After further discussion during the walk-thru of facilities, Mr. Hall indicated that bi-weekly job progress meetings would be acceptable.
- Another walk-thru of the facilities is scheduled for Tuesday, February 26, 2019 at 10:00 am and is open to all bidders, associated subcontractors and suppliers.
- Material Laydown Area: The parking area adjacent to the west side of the Municipal Building and east of the Amburgey Building (blue siding metal building west of municipal building) may be used for material staging. Coordinate this with Village personnel. Storage of building materials will also be permitted in the Amburgey Building coordinate this with Village personnel.
- Village Council meets on the 1st and 3rd Tuesday of each month. Pay application submittal shall be coordinated with the Architect so payment requests can be submitted for payment at one of these monthly meetings.

THE ABOVE REPRESENTS TECHNICON DESIGN GROUP, INC.'S INTERPRETATIONS OF THE DISCUSSIONS HELD AT THE ABOVE-MENTIONED MEETING. ANY ERRORS, OMISSIONS, OR DISCREPANCIES SHOULD BE REPORTED TO THIS OFFICE IMMEDIATELY OR THESE NOTES WILL BE CONSIDERED AS AGREED TO BY ALL PARTIES.

Respectfully Submitted,

Tony Hovest

Project Manager



ATTENDANCE SHEET

Village of Ada – Municipal Building Interior Alterations
Pre-Bid Meeting
February 20, 2019 at 10:00 a.m.

Name:	Firm:	E-mail Address:	Telephone:	Fax:
Tony Hovest	T.D.G. Inc.	tony@technicondesigngroup.com	419-523-5763	419-523-9441
Nathan Reinhart	Clouse Electric	nreinhart@clouseelectric.com	419-447-0165	419-447-0166
Chris Kerschenger	Clouse Electric	CKERSCHNGR@CLOUSEELECTRIC.COM	" "	" "
Scott Kuhlman	KBI	SCOTT@Kuhlmanbuilders.com	419 523 4862	6613
Bruce Kuhlman	KBI	bruce@kuhlmanbuilders.com	" "	" "
Michael G. Gast	GAST P.H. Inc	M.GAST@GASTPH.COM	419 229 9777	419 22
Chris Fortman	Muhlenkamp Bldg Corp.	CHRIS-MBC@BRIGHT.NET	419-678-2000	- 2003
Ashley Brown	Muhlenkamp Building Corp.	mbcorp@bright.net	419-678-2000	419-678-2003
Craig Schroeder	Schummoeller Const.	craig@schummoellerconstruction.com	419-532-2058	419-532-3745
Angela Polachek	VOA	apolachek@adaoh.org	419.634.4045	419.634.4065
Michael Harnishfeger	VOA	adapd@bright.net	419-634-0010	419-634-9576



ATTENDANCE SHEET

Village of Ada – Municipal Building Interior Alterations
Pre-Bid Meeting
February 20, 2019 at 10:00 a.m.

Name:	Firm:	E-mail Address:	Telephone:	Fax:
Bryan Hoersten	Sparta Electric Inc	bryan@spartaelectricinc.com	419-331-6941	
TOM WESTERHEIDE	WESTERHEIDE CONSTRUCTION CO	TOM@WESTERHEIDECO.COM	937-492-7432	
ANDY Wiford	Westerheide Const. Co.	andy@westerheidecc.com	937-658-0171	
Matt Myers	Eduard Myers inc	Estimating@ELMyersPainting.com	419-422-8494	
Marvin Welly	ALVADA Const.	M.Welly@ALVADACONST.COM	419-421-7706	
Brad Beltz	Alvada Const.	B.beltz@alvadaconstruction.com	419-595-4026	
Kim Philipot	Alvada	K.philipot@alvadaconstruction.com	419-595-4030	
Tim Craig	5-C Roofing	fivecroofing@aol.com	419-634-9593	419-634-9979
Bub Simmons	Village	bsimmons@wcoil.com	419-634-9510	
James Hall	Village of ADA	Jhall@ADAOK.ORG	419-634-4045	419-634-4065

SECTION 011000 – SUMMARY REVISED

PART 1 - GENERAL

1.1 SUMMARY

A. Section includes:

1. Project information.
2. Work covered by Contract Documents.
3. Work under separate contracts.
4. Access to site.
5. Coordination with occupants.
6. Work restrictions.
7. Specification and drawing conventions.

B. *Scope of Work: Construction of interior alterations to the existing two-story building with basement. New work shall include (but is not limited to) the following:*

1. *Site work including site clearing as indicated for a new concrete pad for generator, patching of existing payment, if required, as indicated on the drawings.*
2. *Demolish existing police department, partitions, ceilings, doors, corridor closet, remove slab, 2nd floor concrete deck, roof structure to permit construction of new elevator shaft, men's and women's main floor restroom fixtures, partitions, and doors as indicated on drawings.*
3. *Interior finish work including installation of a new elevator and C.M.U. shaft, metal stud framed construction of walls, insulation, gypsum board walls and ceilings, doors, frames and hardware assemblies, acoustic ceiling systems, soffits / bulkheads, paint, floor coverings, casework, new stairway with railing, etc. as indicated on drawings. Membrane roof at top of elevator shaft and flashing shaft penetration into existing roof system, modification of existing steel roof joists and repair of remaining plaster ceiling at 2nd floor.*
4. *Remove brick at west wall exterior façade masonry and repair as necessary at new window openings and remove aluminum framed canvas canopies as indicated on drawings.*
5. *Mechanical systems for heating, ventilating and air conditioning systems as indicated on drawings. Demolition of existing police department HVAC units and ductwork. Minor modifications to existing ductwork for revised main floor spaces.*

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6. *Electrical work including reworking of existing electrical service, panel, new sub-panels, generator, new lighting, devices, raceways, data/com cabling, raceways, etc. as indicated on drawings.*
 7. *Plumbing work for new fixtures, DWV piping, waterlines, macerator unit at holding cell, natural gas line for new mechanical unit, generator, etc. as indicated on drawings.*
- C. Timeline: Construction work shall start on date established in the Notice to Proceed. All work shall be substantially complete within the days indicated on Bid Form.

1.2 PROJECT INFORMATION

- A. Project Identification: No.: 15-2395-18 – Interior Alterations – Village of Ada Municipal Building.
- B. Project Location: 115 West Buckeye Avenue; Ada, OH 45810.
- C. Owner: Village of Ada – 115 West Buckeye Avenue; Ada, OH 45810. Phone: 419.634.4045.
1. Owner's Representatives:
 - a. Jamie Hall; Village Administrator: E-mail: jhall@adaoh.org.
- D. Architect / Engineer: Technicon Design Group, Inc. – 1800 N. Perry Street – Suite 102, Ottawa, Ohio 45875. Phone: 419.523.5323.
1. Architect of Record: Gillian Stechschulte
E-mail: gillian@technicondesigngroup.com
 2. Architect's Project Manager: Tony Hovest
E-mail: tony@technicondesigngroup.com
 3. Architect's Representative: Kevin Wischmeyer
E-mail: kevinw@technicondesigngroup.com
- E. Electrical Engineer: MDA Engineering, Inc.; 1415 Holland Road, Maumee, Ohio 43537. Phone: 419.893.3141
1. Contact: Ron Timko, P.E.
Email: rtimko@mdaengr.com
 2. Contact: Scott Murnen, Electrical Designer
Email: smurnen@mdaengr.com

1.3 WORK COVERED BY CONTRACT DOCUMENTS

- A. The Work of the Project is defined by the Contract Documents and consists of the following:
1. The project consists of building alterations to an existing two-story building with approximately 3,778 square foot on each floor with a full basement. The existing building first and second floor village offices and council chambers shall remain open during the renovation. The police department will relocate to a temporary facility during the renovation. The work shall include demolition of existing components as well as new construction as indicated in the Contract Documents.

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2. The contractor shall provide temporary dust tight partitioning to close off building areas under renovation as the new construction progress requires.
- B. General Contract: The Owner will award a single general contract for construction operations as follows:
1. It is intended that one general contract be awarded for the work required to complete the entire project as follows:
 - a. Sitework, General Construction, Mechanical, Electrical and Plumbing work.
 2. The General Contract will consist of the following work as well as all incidental work required to accomplish the intent of these Contract Documents.
 - a. Furnish and install all general trade items required for the complete construction of the project, including but not limited to: Site work including selective demolition, site clearing, pavement repairs, floor modifications, new windows/replacement, installation of new elevator and CMU shaft, wall partitions, ceilings, doors, hardware, finishes, painting, and casework, etc. as indicated or specified in Construction Documents.
 - b. Coordinate with all subcontractors installing under floor, piping, and conduit.
 3. Work in the Mechanical Sub-Contract will consist of the following specific work items as well as all incidental work as required by the Contract Documents.
 - a. Demolition of existing mechanical systems and equipment as indicated on drawings. Remove the existing furnace, condensing unit, ductwork, diffusers, grilles, etc. as indicated on drawings.
 - b. Provide and install the new condensing units, gas fired furnace and exhaust fans as indicated on drawings.
 - c. Provide and install associated supply, return and exhaust ductwork system as indicated on drawings.
 - d. Supply and install the electric cabinet unit heater as indicated on drawings.
 - e. Provide and install all temperature controls and necessary accessories for system to execute the sequence of operations called for on mechanical drawings and specifications.
 - f. Provide all necessary labor and material to test and start-up mechanical systems and equipment.
 4. Work in the Electrical Sub-Contract includes, but is not limited to, the following:
 - a. Selective demolition of existing electrical systems, fixtures, devices, etc. as indicated on drawings.
 - b. Furnish and install new generator and pad, associated pad, automatic transfer switch and accessories as indicated on the drawings.
 - c. Existing main electrical service/feeder to be upgraded including new panel to serve new loads. Existing panel to remain and serve existing loads to remain.
 - d. Furnish and install disconnects, conduit, wiring, equipment, lighting fixtures, exterior lighting, lighting controls, boxes and raceways for a complete electrical installation.
 - e. Furnish and install all electrics (feeders, disconnects, pit/shaft lighting/receptacles, telephone lines, etc.) associated with new elevator including elevator recall panel as indicated on drawings.

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- f. Furnish and install data/com cabling, jacks, faceplates, raceways and connections indicated or required for a complete installation as shown on the electrical drawings and specifications. Data/com rack and infrastructure furnished and installed by owner.
- 5. Work in the Plumbing Sub-Contract includes, but is not limited to, the following:
 - a. Selective demolition of existing plumbing systems and fixtures as indicated on drawings.
 - b. Furnish and install the piping, vents, valves, insulation, and plumbing fixtures indicated or required for a complete installation as shown on the plumbing drawings and specifications.
 - c. Coordinate with utility companies as necessary to ensure adequate capacity is available and/or as indicated on plumbing drawings and specifications.
 - d. Furnish and install all plumbing equipment indicated required for a complete installation as shown on the plumbing drawings and specifications.
- 6. The General Contractor shall be responsible for scheduling the work to allow the project to be completed by the dates or timeline indicated in the Bid Form including allowances for bad weather. Provide the Owner with bi-weekly updates on the progress of the project and any change in projected completion date. Project shall start following award of contracts as indicated in the Notice to Proceed.
- C. Contract Work Performed by Others:
 - 1. Final Data/Com Connectors by Owner's I.T. personnel.
 - 2. The Contractor and Subcontractor shall coordinate the work performed by others under contract directly with the Owner.
 - 3. Security Systems.
- D. Future Contracts: The Owner reserves the right to award separate contracts for other work being considered including, but not limited to:
 - 1. Furnishings.
 - 2. Window treatments.
- E. Use of the Site: Do not disturb portions of the site beyond the areas indicated. Material staging areas shall be in areas as agreed upon between the Owner and Contractor.
 - 1. Keep driveways and entrances clear. Do not use these areas for parking or material storage. Schedule deliveries to minimize on-site storage of materials and equipment.
- F. Partial Occupancy: The Owner reserves the right to occupy, place and install equipment in completed areas of the building prior to Substantial Completion. Placing equipment and partial occupancy do not constitute acceptance of the Work.

1.4 WORK UNDER SEPARATE CONTRACTS

- A. General: Cooperate fully with separate contractors performing contract work so work on those contracts may be carried out smoothly, without interfering with or delaying work under this Contract or other contracts. Coordinate the Work of this Contract with work performed under separate contracts or alternates.

1.5 ACCESS TO SITE

- A. General: Contractor shall have limited use of the building for construction operations during construction period. Contractor's use of building is limited only by Owner's right to serve the public with municipal services. The Contractor shall minimize any access through the offices that are to remain open to public. The Contractor shall close off areas under construction as required to protect the public and village employees who are utilizing and providing services to the public work.

1.6 COORDINATION WITH OCCUPANTS

- A. Owner Limited Occupancy of Completed Areas of Construction: Owner reserves the right to occupy and to place and install equipment in completed portions of the Work, prior to Substantial Completion of the Work, provided such occupancy does not interfere with completion of the Work. Such placement of equipment and limited occupancy shall not constitute acceptance of the total Work.
 - 1. Architect will prepare a Certificate of Substantial Completion for each specific portion of the Work to be occupied prior to Owner acceptance of the completed Work.
 - 2. Obtain a Certificate of Occupancy from authorities having jurisdiction before limited Owner occupancy.
 - 3. Before limited Owner occupancy of this renovated space, the mechanical, electrical and plumbing systems shall be fully operational, and required tests and inspections shall be successfully completed. On occupancy, Owner will operate and maintain mechanical, plumbing systems, and electrical systems serving occupied portions of Work.
 - 4. On occupancy, Owner will assume responsibility for maintenance and custodial service for occupied portions of Work.
- B. The Owner will need to have access to a restroom on the main floor during construction. Men 115 shall be temporarily designated as a "gender neutral" restroom while the new Women 120 is being renovated. Once Women 120 is substantially complete, it shall be temporarily designated as a "gender neutral" restroom during the renovation of Men 115.

1.7 WORK RESTRICTIONS

- A. Work Restrictions, General: Comply with restrictions on construction operations.

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1. Comply with limitations on use of public streets and other requirements of authorities having jurisdiction.
- B. On-Site Work Hours: Limit work in the existing building to normal business working hours of 7:30 a.m. to 4:30 p.m., Monday through Friday, except as otherwise indicated.
- C. Controlled Substances: Use of tobacco products and other controlled substances on the Project site is not permitted.

1.8 SPECIFICATION AND DRAWING CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
 1. Imperative mood and streamlined language are generally used in the Specifications. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.
 2. Specification requirements are to be performed by Contractor unless specifically stated otherwise.
- B. Division 01 General Requirements: Requirements of Sections in Division 01 and the General Conditions apply to the Work of all Sections in the Specifications.
- C. Drawing Coordination: Requirements for materials and products identified on the Drawings are described in detail in the Specifications. One or more of the following are used on the Drawings to identify materials and products:
 1. Terminology: Materials and products are identified by the typical generic terms used in the individual Specifications Sections.
 2. Abbreviations: Materials and products are identified by abbreviations scheduled on Drawings.
 3. Keynoting: Materials and products may be identified by reference keynotes on drawings or referencing Specification Section numbers found in this Project Manual.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 011000

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ADA, OH 45810**

SUMMARY REVISED

011000 - 6



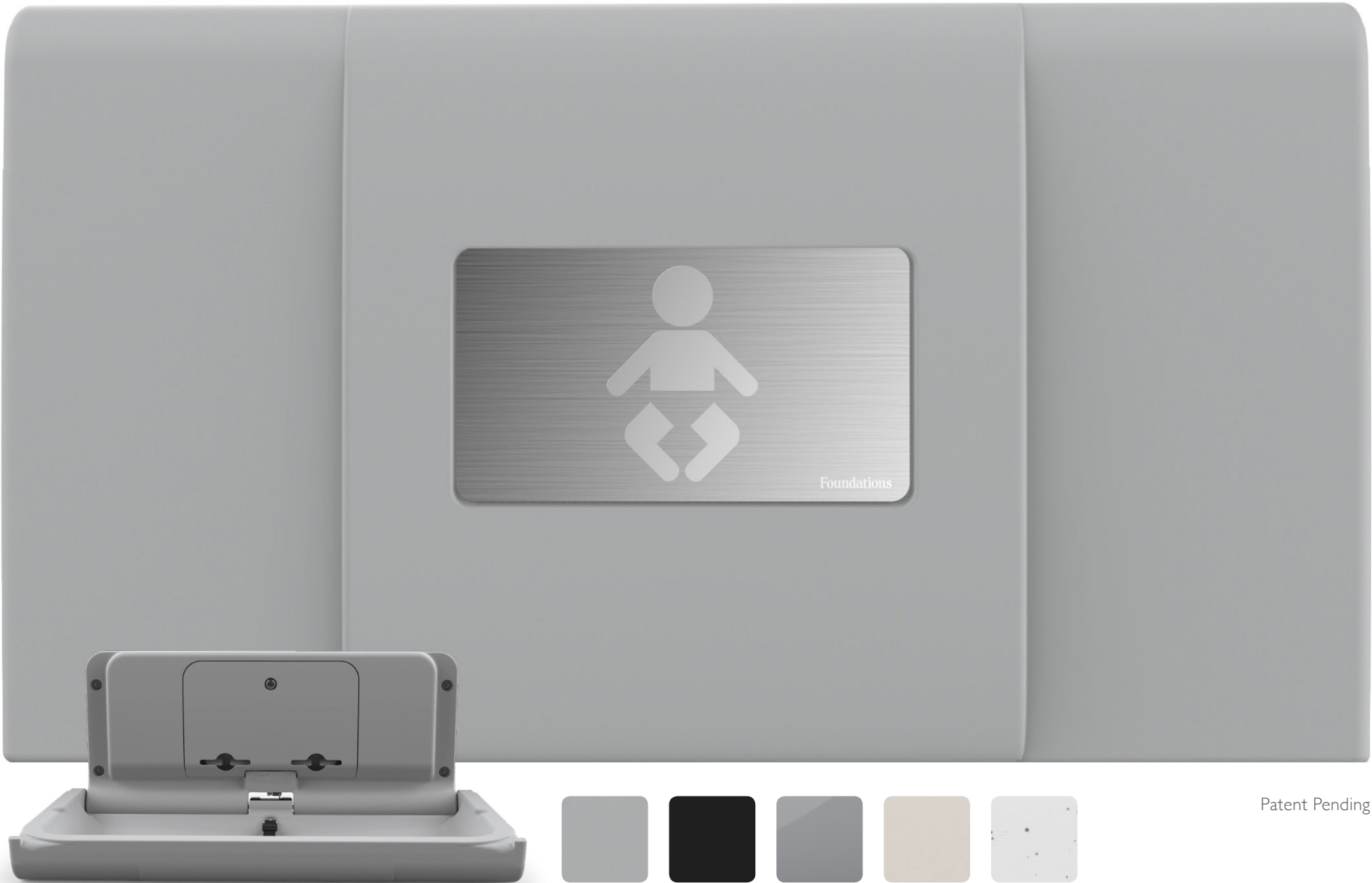
BABY CHANGERS MADE BY BABY EXPERTS.™



STRONG, VERSATILE, BEAUTIFUL, AND COMPLIANT.
THE CHOICE IS CLEAR.

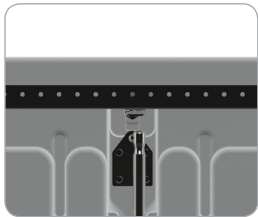


ULTRA® THE ULTIMATE CHANGING STATION®



ULTRA® CHANGING STATION

Available in 5 stylish Colors: Stainless & Gray (200-EH-01), Stainless & Classic Cream (200-EH-08), Stainless & White Granite (200-EH-03), Stainless & Black (200-EH-02), Black & Metallic (220-EH-04). Available in surface-mount only.
37.5"W x 21"H • 4"D (closed) 37.5"W x 16.5"H • 21"D (open)



EZ Mount™ backer plate makes installation quick & easy, true one-person installation



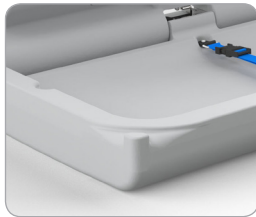
Steel-to-steel hinges for added strength and longevity



Naturally bacteria resistant, semi-permeable vinyl safety belt for superior hygiene



Large dual lockable built-in liner dispensers extends maintenance interval and prevents vandalism



Dual bag hooks easily accommodate thick diaper bags

Patent Pending



Contains no Triclosan or other added chemicals



Made in the USA

ULTRA® BEAUTY & DESIGN

- Upscale, subtle design fits any architectural environment and complements any décor
- Timeless and identifiable international logo
- Clean and sophisticated door sign matches any interior décor

ULTRA® STRENGTH & DURABILITY

- Strong steel-to-steel hinges fasten directly to wall for added strength and longevity
- Exclusive EZ Mount™ backer plate for unprecedented support
- Thick polyethylene build with a textured exterior surface helps prevent abrasion

ULTRA® QUICK & EASY INSTALLATION

- Exclusive Foundations® EZ Mount™ Backer Plate makes unit quick and efficient to install
- True one-person installation
- Includes two wall anchors to ensure proper installation
- Safety belt can be easily removed and replaced if needed

ULTRA® HYGIENE & MAINTENANCE

- Naturally bacteria resistant polyethylene changing surface does not contain harmful anti-bacterial chemicals
- Easy-to-clean smooth interior limits areas for bacteria build-up
- Semi-permeable vinyl safety belt helps reject absorption of bacteria and is easy to clean
- Lockable liner cavities minimize refills and potential vandalism

ULTRA® COMFORT & EASE OF USE

- Extra-wide and deep changing surface more safely accommodates baby
- Gas spring mechanism ensures smooth open and close of the unit
- Dual liner cavities with smooth inserts for quick access
- Prominent, dual bag hooks easily accommodate thick diaper bag straps

ULTRA® COMPLIANCE & SAFETY

- Meets all global standards (ASTM and EN)
- Warning label in 24 languages and instruction sheets use pictures for global use
- ADA compliant when properly installed
- 5-year limited warranty

BACTERIA & MOLD RESISTANT

Foundations® brand commercial changing stations are made of inherently bacteria resistant polyethylene without the addition of antimicrobial chemicals. ASTM G21-I5 testing confirms that the polyethylene surface does not provide a viable surface for fungal growth. Foundations believes all children's products should be as pure as possible. Therefore, Foundations does not add triclosan or any other commercially available antimicrobial chemical to the surface of its baby changing stations.



Classic

The global standard of baby changing stations

Made from durable, easy-to-clean, high-density polyethylene, which is inherently bacteria resistant

Industry standard for the most preferred changing position

Clean design fits virtually all decor

Built-In Liner Dispensers

5-year warranty

Heavy-duty steel-on-steel hinge provides increased strength and support

Includes all necessary mounting hardware (EZ Mount™ Backer Plate optional)

Safety Strap and Buckle

Integrated Coat/Bag Hook

All models are ADA compliant when properly installed

Horizontal unit only

250 LBS SUPPORT



HORIZONTAL 100-EH // 5210089

Our best selling changing station and is an industry standard as the most preferred changing position. Available in Light Gray (100-EH) and Cream (5211089).
34.25"W x 15.375"H • 4"D (closed) 17.5"D (open)

ALSO AVAILABLE WITH BACKER-PLATE

Horizontal Light Gray: 100-EH-BP; Horizontal Cream 5211089; Vertical Light Gray: 100-EV-BP.



*Supports up to 150 pounds.

VERTICAL 100-EV

Offering a more narrow footprint, the vertical model allows for mounting in smaller spaces.
19.5"W x 30.5"H • 4"D (closed) 32"D (open)



HORIZONTAL WITH STAINLESS FRAME 5240259

Combines the 100-EH polyethylene horizontal changing station with stainless steel housing to deliver upscale appearance for high-finish facilities. Offers all the same features as 100-EH. Recessed mount only.
38.25"W x 22"H • 4"D (closed) 17.6"D (open)



Stainless

Upscale beauty at a fraction of the cost

Reinforced corner pieces eliminate sharp edges

Includes all necessary mounting hardware (optional EZ Mount™ Backer Plate compatible with frameless version only)

ADA compliant when properly installed

5-year warranty

304 stainless steel shell

Heavy-duty steel-on-steel hinge provides increased strength and support

Stainless steel frame (optional)

250 LBS SUPPORT



FRAMELESS SURFACE-MOUNT 5410339

Combines the 100-EH polyethylene horizontal changing station with a brushed 304 stainless steel shell to deliver upscale appearance for high-finish facilities. Offers all the same features as 100-EH. Surface mount only.

34.6"W x 15.625"H • 3.875"D (closed) 17"D (open)



FRAMED SURFACE-MOUNT 100SSC-SM

FRAMED RECESSED 100SSC-R

Offers all the same features as 5410339 along with stainless steel frame. Available in Framed Surface-Mount (100SSC-SM) and Framed Recessed (100SSC-R) versions.

37.5"W x 21.75"H • 4"D (closed) 17.1875"D (open)

Premier Stainless

When your interior makes a statement

Entire structure is made of 304 brushed stainless steel

5-year warranty

Bacteria resistant, replaceable, high-gloss, durable ABS tray

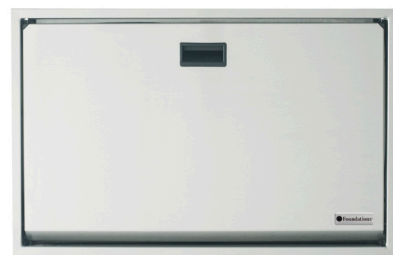
Pneumatic gas springs



Horizontal unit only

ADA and ANSI compliant when properly installed

Cushioned safety corners



*Supports up to 150 pounds.



HORIZONTAL SURFACE MOUNT I00SS-SM

HORIZONTAL RECESSED I00SS-R

The only fully stainless steel fabricated changing station line available on the market today. Available in Surface Mount (I00SS-SM) and Recessed (I00SS-R) versions.

35.75"W x 23.5"H • 4"D (closed) 21.375"D (open)

VERTICAL SURFACE-MOUNT I00SSV-SM

VERTICAL RECESSED I00SSV-R

Allows for mounting in smaller spaces. Available in Surface Mount (I00SSV-SM) and Recessed (I00SSV-R) options.

23.5"W x 35.75"H • 4"D (closed) 33.875"D (open)

Adult Changing Stations

The thoughtful solution for those with special needs

Designed for adults and people with physical disabilities, with an extended length of over 62"

When closed, unit projects 1" (25 mm) from wall if recessed or 4" (100 mm) if surface mounted

Constructed of heavy-duty 304 brushed stainless

ADA and ANSI compliant when properly installed



Rated to support a static load of 400 pounds. (181 kg). Dual pneumatic gas springs

Tray protrudes 21.375" from wall when open



EXTENDED LENGTH SURFACE MOUNT I00SSE-SM

EXTENDED LENGTH RECESSED I00SSE-R

An adult changing table is a convenient and safe way for caretakers to assist individuals who may be unable to fully care for themselves. Our changing station for adults is made of an extremely durable brushed stainless steel, which makes it simple to maintain and easy to sanitize. We also offer the option of a recessed (I00SSE-R) or surface mounted (I00SSE-SM) station depending on what best fits your facility. Complies with Accessibility for Ontarians with Disabilities Act in Canada.

64.75"W x 23.5"H • 4"D (closed) 21.375"D (open)

Accessories



TODDLER SEAT 5806086

12"W x 15.5"H • 4"D (closed) 13.5"D (open)

- Made from durable, easy-to-clean, high-density polyethylene, which is inherently bacteria resistant
- Required mounting surface 12"W x 16.625"H
- Seat extends 13.5" from wall when open



CHANGING STATION BELT B003

WALL SEAT BELT B008

Replacement belt to safely secure children in place while in changing station or wall seat.



EZ MOUNT™ BACK PLATE A100-BPEH // A100-BPEV

37.5"L x 1.15"H x 2"D (horizontal)

29"L x 1.15"H x 2"D (vertical)

- Eliminates the need for structural blocking and ensures connection with two studs
- Easy assembly includes all necessary tools
- Reduces installation time and enables unit to be attached to the wall by one installer



SHOCK REPLACEMENT KIT

C003-CYL // C006-CYL //C007-CYL

Replacement cylinder kit with shock mechanism that controls the safe opening and closing of Foundations changing stations.

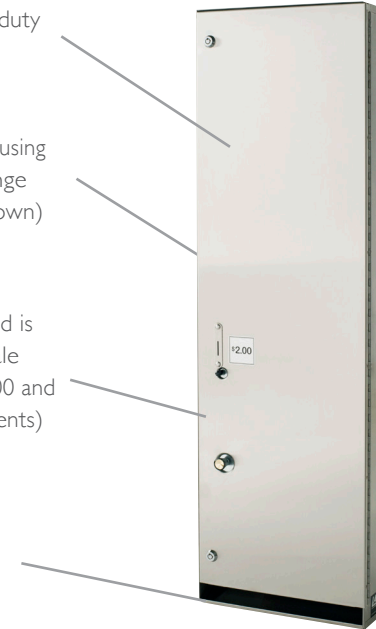
Accessories

Constructed of heavy-duty 304 brushed stainless

Can recess up to 3.75" using optional recessing flange Model 025-SS (not shown)

Holds 24 diaper kits and is preset at \$2.00 per sale (can be set at 50¢–\$3.00 and adjusted in 25¢ increments)

Keyed lock prevents tampering and theft



DIAPER VENDOR 106-SS

12.25"W x 42"H x 5.25"D

Constructed of heavy-duty 304 brushed stainless

Recessed mounted separately from changing station

Keyed lock prevents tampering and theft

Holds 100 liners



LINER DISPENSER 200-SSLD

8"W x 16"H x 4"D



DIAPER KITS 107-DK

Kit includes wipes, liners, medium diaper; diaper cream and disposal bag. Fits 106-SS. 80 per case pack.



LINERS 036-NWL // 036-LCR

Keep your changing stations sanitary with these disposable liners. Available as waterproof and non-waterproof. 500 per case pack. 13"W x 19"H



PROFESSIONAL QUALITY. LEGENDARY SAFETY.™

Foundations® is the global leader in commercial children's furnishing in child care centers, hotels and public washrooms where safety, quality and convenience are paramount.



WORLD LEADER IN HOTELS™

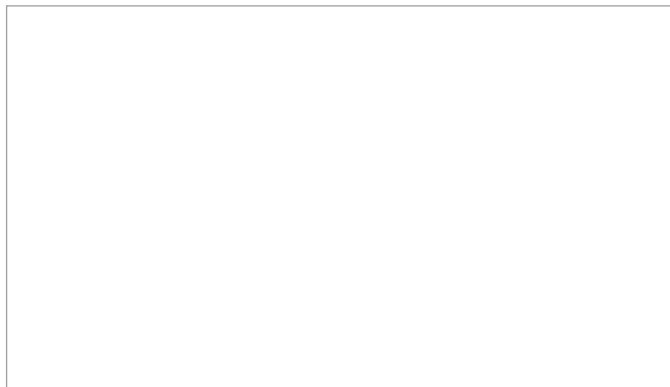


MOST TRUSTED NAME IN
CHILD CARE™



BABY CHANGERS MADE BY
BABY EXPERTS™

DISTRIBUTED BY:

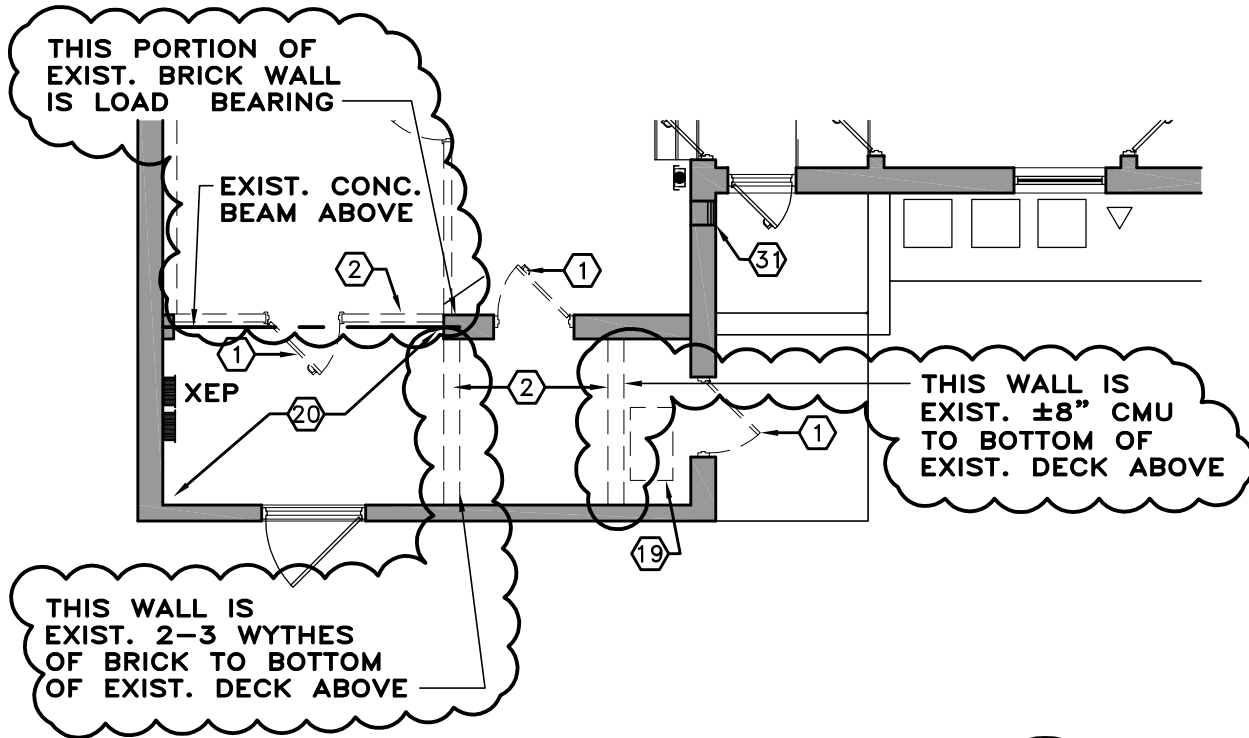


Foundations Worldwide, Inc.
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DEMOLITION KEYNOTE LEGEND

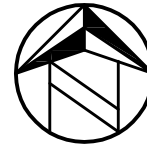
(ALL WORK BY G.C., U.N.O.)

- ② REMOVE EXIST. WALL. E.C. TO REMOVE ANY ELECTRICAL DEVICES, WIRING AND CONDUITS, ALSO SEE ELEC. DWGS. G.C. TO SALVAGE ANY GLAZED MASONRY UNITS FOR REUSE FOR PATCHING WALLS WHERE REQ'D., SEE FLOOR PLAN.



FIRST FLOOR DEMO. PLAN

SCALE: 1/8" = 1'-0"



VILLAGE OF ADA
MUNICIPAL BLDG. INT. ALTS.
115 W. BUCKEYE AVE.
ADA, OHIO 45810



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ADDENDUM		
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THIS IS NOT A SEALED DOCUMENT.
 SEE REVIEWED DRAWINGS ON FILE
 WITH THE AUTHORITY HAVING
 JURISDICTION.

GILLIAN STECHSCHULTE
 OHIO REGISTERED ARCHITECT NO.
 LICENSE #ARC1516394 EXPIRATION
 DATE 12-31-19