

**TECHNICON DESIGN GROUP INC.**

1800 N. Perry Street, Suite 102

Ottawa, Ohio 45875

Phone: 419.523.5323

email: info@technicondesigngroup.com

**DATE:** September 19, 2018**PROJECT NUMBER:** 72-2351-17**PROJECT NAME:** Health Partners of Western Ohio - Tiffin Community Health Center**INTENT:**

This Addendum provides modifications and clarifications to the Bid Documents dated **08/23/2018**. Bidder shall ascertain prior to submitting its Bid Form that it has received all Addenda issued and shall acknowledge receipt of each Addendum on the Bid Form.

In the event of a conflict between the terms and provisions of this Addendum and the terms and provisions of the Bidding Documents, the terms and provisions of this Addendum shall control. In all other respects, the Bidding Documents shall remain unchanged and in full force and effect.

ITEM	ADD DOCUMENT	CD REFERENCE	DESCRIPTION
<b>GENERAL:</b>			
1	Asbestos Analytical Report & Roof Sample Locations Plan		<b>ADD:</b> See the attached Asbestos Analytical Report dated August 17, 2018 and the Roof Sample Locations Plan. Any material that tests greater than 1% is considered asbestos containing material. The General Contractor shall retain a roofing subcontractor that has their employee's trained and certified to remove the asbestos containing material. The waste must be disposed of in a construction and debris (C & D) landfill not in a solid waste landfill. It may also be disposed of in an EPA asbestos approved landfill at the roofing contractor's option. The roofing material that has asbestos containing material to be removed in accordance with the latest EPA, ODH & ASHA required regulations as it pertains to asbestos roof removal and disposal.
2	Pre-Bid Meeting Minutes		<b>ADD:</b> See attached Pre-bid Minutes / Sign-In Sheets from meeting held on September 12, 2018.
3	REVISED Bid Form		<b>DELETE</b> Bid Form and <b>INSERT</b> REVISED Bid Form: Note the substantial completion date on page 1R is revised to a fixed date of June 14, 2019. It is the Owner's intent to issue the Contract/Notice to Proceed to the successful bidder by October 31, 2018. Also note that Alternates 2 and 3 price lines were added to the REVISED Bid Form.
<b>SPECIFICATIONS:</b>			
4	012100		<b>ADD:</b> SECTION 012100 "ALLOWANCES"

5	REVISED Section 012200 - Unit Prices		<b>DELETE</b> Section 012200 Unit Prices in its entirety and <b>INSERT REVISED</b> Section 012200 Unit Prices.
6	REVISED Section 012300 - Alternates		<b>DELETE</b> Section 012300 Alternates in its entirety and <b>INSERT REVISED</b> Section 012300 Alternates.
7		075419-3	<b>ADD:</b> 2.4.G: Vapor Barrier (Alternate 2): Furnish and install a self-adhesive vapor barrier over existing roof deck after existing roof tear-off and prior to installing insulation membrane roof system. Install vapor barrier according to manufacturer's requirements. 1. Basis of Design Product: Duro-Last Vapor Barrier or comparable product by one of the roof manufacturers specified in paragraph 2.3.A.1a,b,c,d.
<b>SITE</b>			
8		S3	<b>QUESTION:</b> Can the type 6 curb be poured monolithically with the sidewalk? <b>ANSWER:</b> A monolithic pour is acceptable as noted in Concrete Sidewalk Section on Sheet S3.
9		S2 - LETTERED NOTES, NOTE W1	<b>QUESTION:</b> Any way we could get a clarification on the water line, if it isn't addressed already? The Site Engineer made it sound like Aqua Inc. was running the waterline for the 6" sprinkler and the 1-1/2" domestic to the building. If that is not the case, what exactly is the GC supposed to provide. Is Aqua providing the testing? <b>ANSWER:</b> <u>Site Engineer Response:</u> For clarification of the 1-1/2" domestic water service: The site contractor shall perform and provide all materials to within 5' of the building. The plumbing contractor shall resume installation from that point into the building. <u>Plumbing Engineer Response:</u> The plumbing contractor will be providing the new domestic backflow device in the basement. <u>Site Engineer Response:</u> The site contractor is responsible for and providing all materials for the tap on the existing 6" fire line, curb stop, meter pit, and the 47 LF of 1-1/2" waterline. AQUA will provide the meter which the contractor will install. <u>Site Engineer Response:</u> For clarification of the existing 1" domestic water service: The site contractor is responsible for all excavation and materials necessary in the capping and removal of the existing 1" domestic service. A minimum of 36" of 1" pipe shall be removed toward the building. The remaining portion shall be capped and abandoned in place. End caps to be properly backed. Site contractor to coordinate all waterline work with AQUA of Tiffin. <u>Plumbing Engineer response:</u> The contractor installing the piping 5-feet and beyond the Facility should be providing the new domestic water tap and meter (in meter pit) set per City of Tiffin requirements. This should be true for the three sanitary connections as well. Plumbing and Site Contractors to coordinate requirements and elevations. <u>Site Engineer Response (regarding testing):</u> Contractor does both items, testing and disinfection - see General Notes under Waterline on sheet SGN 1.

10		S2	<b>ADD</b> to sheet S2: Hopewell Township has determined that any utility work in the roadway that involves the installation of pipe shall be directional drilled. This would affect: (1) CB 20 to CB 43 - the existing 4" will be abandoned in place with proposed 6" being directional drilled. (2) CB 43 to PS 40 - the proposed 3" to be directional drilled. (3) CB 43 to CB 42 - the proposed 6" to be directional drilled to the 90° bend approximately 102.5' +/- . Remaining from 90° to CB 42 open cut acceptable.
<b>STRUCTURAL</b>			
11	S101 Revised for Addendum 01	S101	<b>DELETE</b> current sheet S101 and <b>INSERT</b> revised sheet S101 with Issue Date 09 19 18 Addendum 01. Note that the roof deck replacement method and quantities have been revised. Contractor shall cut out/remove the existing roof deck where indicated on Roof Framing Plan and as deemed necessary in other damaged areas. See Details 5/S101 for deck fastener patterns. Also see Section 012100 "Allowances" and Section 012200 "Unit Prices".
<b>ARCHITECTURAL:</b>			
12	A121 Revised sheet for Addendum 01	A121	<b>DELETE</b> current sheet A121 and <b>INSERT</b> revised sheet A121 with Issue Date 09 19 18 Addendum 01. Note that the roof deck replacement method note located below keynote 25 (in box). Also note ALTERNATE 2 that was added to this sheet below the Roof Plan regarding the installation of the vapor barrier.
13	A602-R1,2,3,4 revised sheets for Addendum 01	A602	<b>ADD:</b> See the attached window drawings for ALTERNATE 3: The Contractor shall provide a cost to furnish and install aluminum fixed storefront windows (Kawneer 451T or equal; see specification Section 084113) in lieu of the Desco 3250 Series for window types "A" thru "O" as indicated on the drawings.
<b>END OF ADDENDUM 01</b>			

August 17, 2018

J & K Environmental LLC  
P. O. Box 365  
Ottawa, OH 45875

**CLIENT PROJECT:** 1344 W. Seneca St., Tiffin; JKA081518-A  
**CEI LAB CODE:** A189021

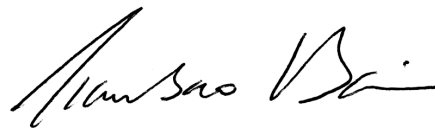
Dear Customer:

Enclosed are asbestos analysis results for PLM Bulk samples received at our laboratory on August 16, 2018. The samples were analyzed for asbestos using polarizing light microscopy (PLM) per the EPA 600 Method.

Sample results containing >1% asbestos are considered asbestos-containing materials (ACMs) per EPA regulatory requirements. The detection limit for the EPA 600 Method is <1% asbestos by weight as determined by visual estimation.

Thank you for your business and we look forward to continuing good relations. If you have any questions, please feel free to call our office at 919-481-1413.

Kind Regards,



Tianbao Bai, Ph.D., CIH  
Laboratory Director

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## **ASBESTOS ANALYTICAL REPORT**

### **By: Polarized Light Microscopy**

Prepared for

**J & K Environmental LLC**

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CLIENT PROJECT: 1344 W. Seneca St., Tiffin; JKA081518-A

LAB CODE: A189021

TEST METHOD: EPA 600 / R93 / 116 and EPA 600 / M4-82 / 020

REPORT DATE: 08/17/18

TOTAL SAMPLES ANALYZED: 10

# SAMPLES >1% ASBESTOS: 10

# Asbestos Report Summary

By: POLARIZING LIGHT MICROSCOPY

**PROJECT:** 1344 W. Seneca St., Tiffin; JKA081518-A    **LAB CODE:** A189021

**METHOD:** EPA 600 / R93 / 116 and EPA 600 / M4-82 / 020

Client ID	Layer	Lab ID	Color	Sample Description	ASBESTOS %
C-1	Layer 1	A79163	White	Roofing	None Detected
	Layer 2	A79163	Silver	Roofing	Chrysotile 5%
	Layer 3	A79163	Black	Roofing	None Detected
	Layer 4	A79163	Black	Roofing	None Detected
C-2	Layer 1	A79164	White	Roofing	None Detected
	Layer 2	A79164	Gray/Black	Roofing	None Detected
	Layer 3	A79164	Black	Roofing	None Detected
	Layer 4	A79164	Black	Roofing	Chrysotile 10%
	Layer 5	A79164	Silver	Roofing	Chrysotile 5%
	Layer 6	A79164	Black	Roofing	None Detected
	Layer 7	A79164	Brown	Roofing	None Detected
C-3	Layer 1	A79165	White	Roofing	None Detected
	Layer 2	A79165	Silver	Roofing	Chrysotile 5%
	Layer 3	A79165	Black	Roofing	Chrysotile 10%
	Layer 4	A79165	Black	Roofing	None Detected
	Layer 5	A79165	Black	Roofing	None Detected
	Layer 6	A79165	Brown	Roofing	None Detected
C-4	Layer 1	A79166	White	Roofing	None Detected
	Layer 2	A79166	Silver	Roofing	Chrysotile 5%
	Layer 3	A79166	Black	Roofing	Chrysotile 10%
	Layer 4	A79166	Black	Roofing	None Detected
	Layer 5	A79166	Black	Roofing	None Detected
	Layer 6	A79166	Brown	Roofing	None Detected
C-5	Layer 1	A79167	White	Roofing	None Detected
	Layer 2	A79167	Silver	Roofing	Chrysotile 5%
	Layer 3	A79167	Black	Roofing	None Detected
	Layer 4	A79167	Black	Roofing	None Detected
	Layer 5	A79167	Brown	Roofing	None Detected
C-6	Layer 1	A79168	White	Roofing	None Detected
	Layer 2	A79168	Silver	Roofing	Chrysotile 5%
	Layer 3	A79168	Black	Roofing	None Detected

# Asbestos Report Summary

By: POLARIZING LIGHT MICROSCOPY

**PROJECT:** 1344 W. Seneca St., Tiffin; JKA081518-A    **LAB CODE:** A189021

**METHOD:** EPA 600 / R93 / 116 and EPA 600 / M4-82 / 020

Client ID	Layer	Lab ID	Color	Sample Description	ASBESTOS %
	Layer 4	A79168	Black	Roofing	None Detected
	Layer 5	A79168	Brown	Roofing	None Detected
C-7	Layer 1	A79169	White	Roofing	None Detected
	Layer 2	A79169	Silver	Roofing	Chrysotile 5%
	Layer 3	A79169	Black	Roofing	None Detected
	Layer 4	A79169	Black	Roofing	None Detected
	Layer 5	A79169	Brown	Roofing	None Detected
C-8	Layer 1	A79170	White	Roofing	None Detected
	Layer 2	A79170	Black/Brown	Roofing	None Detected
	Layer 3	A79170	Black	Roofing	None Detected
C-9	Layer 1	A79171	White	Roofing	None Detected
	Layer 2	A79171	Brown	Roofing	None Detected
C-10	Layer 1	A79172	White	Roofing	None Detected
	Layer 2	A79172	Black	Roofing	None Detected
	Layer 3	A79172	Black/Brown	Roofing	None Detected

# ASBESTOS BULK ANALYSIS

By: POLARIZING LIGHT MICROSCOPY

**Client:** J & K Environmental LLC  
P. O. Box 365  
Ottawa, OH 45875

**Lab Code:** A189021  
**Date Received:** 08-16-18  
**Date Analyzed:** 08-17-18  
**Date Reported:** 08-17-18

**Project:** 1344 W. Seneca St., Tiffin; JKA081518-A

## ASBESTOS BULK PLM, EPA 600 METHOD

Client ID	Lab	Lab	NON-ASBESTOS COMPONENTS				ASBESTOS
Lab ID	Description	Attributes	Fibrous		Non-Fibrous		%
C-1	Roofing	Heterogeneous	13%	Synthetic Fiber	85%	Binder	None Detected
Layer 1		White	2%	Cellulose			
A79163		Fibrous					
		Bound					
Layer 2	Roofing	Heterogeneous	3%	Cellulose	92%	Binder	5% Chrysotile
A79163		Silver					
		Fibrous					
		Bound					
Layer 3	Roofing	Heterogeneous	15%	Cellulose	85%	Tar	None Detected
A79163		Black					
		Fibrous					
		Bound					
Layer 4	Roofing	Heterogeneous			100%	Rubber	None Detected
A79163		Black					
		Non-fibrous					
		Bound					
C-2	Roofing	Heterogeneous	2%	Cellulose	98%	Binder	None Detected
Layer 1		White					
A79164		Fibrous					
		Bound					
Layer 2	Roofing	Heterogeneous	2%	Cellulose	8%	Binder	None Detected
A79164		Gray/Black			90%	Rust	
		Fibrous					
		Bound					
Layer 3	Roofing	Heterogeneous	2%	Cellulose	98%	Binder	None Detected
A79164		Black					
		Fibrous					
		Bound					



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## ASBESTOS BULK PLM, EPA 600 METHOD

Client ID Lab ID	Lab Description	Lab Attributes	NON-ASBESTOS COMPONENTS				ASBESTOS %
			Fibrous		Non-Fibrous		
Layer 4 A79164	Roofing	Heterogeneous Black Fibrous Bound	5%	Cellulose	85%	Tar	10% Chrysotile
Layer 5 A79164	Roofing	Heterogeneous Silver Fibrous Bound	3%	Cellulose	92%	Binder	5% Chrysotile
Layer 6 A79164	Roofing	Heterogeneous Black Fibrous Bound	15%	Cellulose	85%	Tar	None Detected
Layer 7 A79164	Roofing	Heterogeneous Brown Fibrous Loosely Bound	100%	Cellulose			None Detected
<b>C-3</b> Layer 1 A79165	Roofing	Heterogeneous White Fibrous Bound	13% 2%	Synthetic Fiber Cellulose	85%	Binder	None Detected
Layer 2 A79165	Roofing	Heterogeneous Silver Fibrous Bound	3%	Cellulose	92%	Binder	5% Chrysotile
Layer 3 A79165	Roofing	Heterogeneous Black Fibrous Bound	5%	Cellulose	85%	Tar	10% Chrysotile

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## ASBESTOS BULK PLM, EPA 600 METHOD

Client ID	Lab	Lab	NON-ASBESTOS COMPONENTS				ASBESTOS
Lab ID	Description	Attributes	Fibrous		Non-Fibrous		%
Layer 4 A79165	Roofing	Heterogeneous Black Fibrous Bound	15%	Cellulose	85%	Tar	None Detected
Layer 5 A79165	Roofing	Heterogeneous Black Non-fibrous Bound			100%	Rubber	None Detected
Layer 6 A79165	Roofing	Heterogeneous Brown Fibrous Loosely Bound	100%	Cellulose			None Detected
C-4 Layer 1 A79166	Roofing	Heterogeneous White Fibrous Bound	13% 2%	Synthetic Fiber Cellulose	85%	Binder	None Detected
Layer 2 A79166	Roofing	Heterogeneous Silver Fibrous Bound	3%	Cellulose	92%	Binder	5% Chrysotile
Layer 3 A79166	Roofing	Heterogeneous Black Fibrous Bound	5%	Cellulose	85%	Tar	10% Chrysotile
Layer 4 A79166	Roofing	Heterogeneous Black Fibrous Bound	15%	Cellulose	85%	Tar	None Detected

# ASBESTOS BULK ANALYSIS

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**Date Reported:** 08-17-18

**Project:** 1344 W. Seneca St., Tiffin; JKA081518-A

## ASBESTOS BULK PLM, EPA 600 METHOD

Client ID Lab ID	Lab Description	Lab Attributes	NON-ASBESTOS COMPONENTS				ASBESTOS %
			Fibrous		Non-Fibrous		
Layer 5 A79166	Roofing	Heterogeneous Black Non-fibrous Bound			100%	Rubber	None Detected
Layer 6 A79166	Roofing	Heterogeneous Brown Fibrous Loosely Bound	100%	Cellulose			None Detected
C-5 Layer 1 A79167	Roofing	Heterogeneous White Fibrous Bound	13% 2%	Synthetic Fiber Cellulose	85%	Binder	None Detected
Layer 2 A79167	Roofing	Heterogeneous Silver Fibrous Bound	3%	Cellulose	92%	Binder	5% Chrysotile
Layer 3 A79167	Roofing	Heterogeneous Black Fibrous Bound	15%	Cellulose	85%	Tar	None Detected
Layer 4 A79167	Roofing	Heterogeneous Black Non-fibrous Bound			100%	Rubber	None Detected
Layer 5 A79167	Roofing	Heterogeneous Brown Fibrous Loosely Bound	100%	Cellulose			None Detected

# ASBESTOS BULK ANALYSIS

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## ASBESTOS BULK PLM, EPA 600 METHOD

Client ID	Lab	Lab	NON-ASBESTOS COMPONENTS				ASBESTOS
Lab ID	Description	Attributes	Fibrous		Non-Fibrous		%
C-6	Roofing	Heterogeneous	13%	Synthetic Fiber	85%	Binder	None Detected
Layer 1		White	2%	Cellulose			
A79168		Fibrous					
		Bound					
Layer 2	Roofing	Heterogeneous	3%	Cellulose	92%	Binder	5% Chrysotile
A79168		Silver					
		Fibrous					
		Bound					
Layer 3	Roofing	Heterogeneous	15%	Cellulose	85%	Tar	None Detected
A79168		Black					
		Fibrous					
		Bound					
Layer 4	Roofing	Heterogeneous			100%	Rubber	None Detected
A79168		Black					
		Non-fibrous					
		Bound					
Layer 5	Roofing	Heterogeneous	100%	Cellulose			None Detected
A79168		Brown					
		Fibrous					
		Loosely Bound					
C-7	Roofing	Heterogeneous	13%	Synthetic Fiber	85%	Binder	None Detected
Layer 1		White	2%	Cellulose			
A79169		Fibrous					
		Bound					
Layer 2	Roofing	Heterogeneous	3%	Cellulose	92%	Binder	5% Chrysotile
A79169		Silver					
		Fibrous					
		Bound					

# ASBESTOS BULK ANALYSIS

By: POLARIZING LIGHT MICROSCOPY

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**Lab Code:** A189021  
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**Project:** 1344 W. Seneca St., Tiffin; JKA081518-A

## ASBESTOS BULK PLM, EPA 600 METHOD

Client ID Lab ID	Lab Description	Lab Attributes	NON-ASBESTOS COMPONENTS				ASBESTOS %
			Fibrous		Non-Fibrous		
Layer 3 A79169	Roofing	Heterogeneous Black Fibrous Bound	15%	Cellulose	85%	Tar	None Detected
Layer 4 A79169	Roofing	Heterogeneous Black Non-fibrous Bound			100%	Rubber	None Detected
Layer 5 A79169	Roofing	Heterogeneous Brown Fibrous Loosely Bound	100%	Cellulose			None Detected
C-8 Layer 1 A79170	Roofing	Heterogeneous White Fibrous Bound	13% 2%	Synthetic Fiber Cellulose	85%	Binder	None Detected
Layer 2 A79170	Roofing	Heterogeneous Black/Brown Fibrous Loosely Bound	85%	Cellulose	15%	Tar	None Detected
Layer 3 A79170	Roofing	Heterogeneous Black Non-fibrous Bound			100%	Rubber	None Detected
C-9 Layer 1 A79171	Roofing	Heterogeneous White Fibrous Bound	13% 2%	Synthetic Fiber Cellulose	85%	Binder	None Detected

# ASBESTOS BULK ANALYSIS

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## ASBESTOS BULK PLM, EPA 600 METHOD

Client ID	Lab	Lab	NON-ASBESTOS COMPONENTS				ASBESTOS
Lab ID	Description	Attributes	Fibrous	Non-Fibrous			%
Layer 2 A79171	Roofing	Heterogeneous Brown Fibrous Loosely Bound	100%	Cellulose			None Detected
C-10 Layer 1 A79172	Roofing	Heterogeneous White Fibrous Bound	13% 2%	Synthetic Fiber	85% Binder	None Detected	
Layer 2 A79172	Roofing	Heterogeneous Black Non-fibrous Bound			100% Rubber	None Detected	
Layer 3 A79172	Roofing	Heterogeneous Black/Brown Fibrous Loosely Bound	85%	Cellulose	15% Tar	None Detected	

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**LEGEND:**

Non-Anth	= Non-Asbestiform Anthophyllite
Non-Trem	= Non-Asbestiform Tremolite
Calc Carb	= Calcium Carbonate

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**METHOD:** EPA 600 / R93 / 116 and EPA 600 / M4-82 / 020

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**REPORTING LIMIT:** <1% by visual estimation

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**REPORTING LIMIT FOR POINT COUNTS:** 0.25% by 400 Points or 0.1% by 1,000 Points

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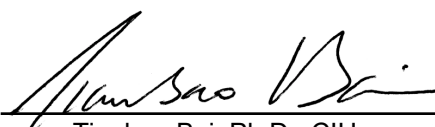
**REGULATORY LIMIT:** >1% by weight

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Due to the limitations of the EPA 600 method, nonfriable organically bound materials (NOBs) such as vinyl floor tiles can be difficult to analyze via polarized light microscopy (PLM). EPA recommends that all NOBs analyzed by PLM, and found not to contain asbestos, be further analyzed by Transmission Electron Microscopy (TEM). Please note that PLM analysis of dust and soil samples for asbestos is not covered under NVLAP accreditation. Estimated measurement of uncertainty is available on request.

This report relates only to the samples tested or analyzed and may not be reproduced, except in full, without written approval by Eurofins CEI. Eurofins CEI makes no warranty representation regarding the accuracy of client submitted information in preparing and presenting analytical results. Interpretation of the analytical results is the sole responsibility of the client. Samples were received in acceptable condition unless otherwise noted. This report may not be used by the client to claim product endorsement by NVLAP or any other agency of the U.S. Government.

**ANALYST:**   
 Shilpa Ladekar

**APPROVED BY:**   
 Tianbao Bai, Ph.D., CIH  
 Laboratory Director



107 New Edition Court, Cary, NC 27511

Tel: 866-481-1412; Fax: 919-481-1442

# ASBESTOS CHAIN OF CUSTODY

LAB USE ONLY:

CEI Lab Code:

A189021 (10)

CEI Lab I.D. Range:

A791103-A79172

COMPANY INFORMATION		PROJECT INFORMATION	
CEI CLIENT #: 24288		Job Contact: JOE KREINBRINK	
Company: J & K Environmental LLC		Email / Tel: 419-523-6476	
Address: P. O. Box 365		Project Name: 1344 W. SENECA ST., TIFFIN	
Ottawa, OH 45875		Project ID# JKA081518-1A	
Email: jkenvir@bright.net		PO #: JK081518-1	
Tel: 419-523-6476	Fax: 419-523-5224	STATE SAMPLES COLLECTED IN:	

GENERAL INSTRUCTIONS			
POSITIVE STOP ANALYSIS	<input type="checkbox"/>	PLM DUE DATE:	/ /
ANALYZE NOB'S BY TEM	<input type="checkbox"/>	TEM DUE DATE:	/ /

IF TAT IS NOT MARKED STANDARD 3 DAY TAT APPLIES.

ASBESTOS	METHOD	TURN AROUND TIME					
		4 HR	8 HR	24 HR	2 DAY	3 DAY	5 DAY
PLM BULK	EPA 600	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PLM POINT COUNT (400)	EPA 600	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PLM POINT COUNT (1000)	EPA 600	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PLM GRAV w POINT COUNT	EPA 600	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PCM AIR	NIOSH 7400	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TEM AIR AHERA	EPA AHERA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TEM AIR NIOSH	NIOSH 7402	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TEM BULK	CHATFIELD	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TEM DUST WIPE	ASTM D6480-05	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TEM DUST MICROVAC	ASTM D5755-09	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TEM SOIL	ASTM D7521-13	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TEM VERMICULITE	CINCINNATI METHOD	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
OTHER:		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

REMARKS:			
TEST ALL LAYERS		<input checked="" type="checkbox"/> Accept Samples	
		<input type="checkbox"/> Reject Samples	
Relinquished By:	Date/Time	Received By:	Date/Time
J. K. Kreinbrink	8/15/18 - noon	CP	8/16/18 9:16

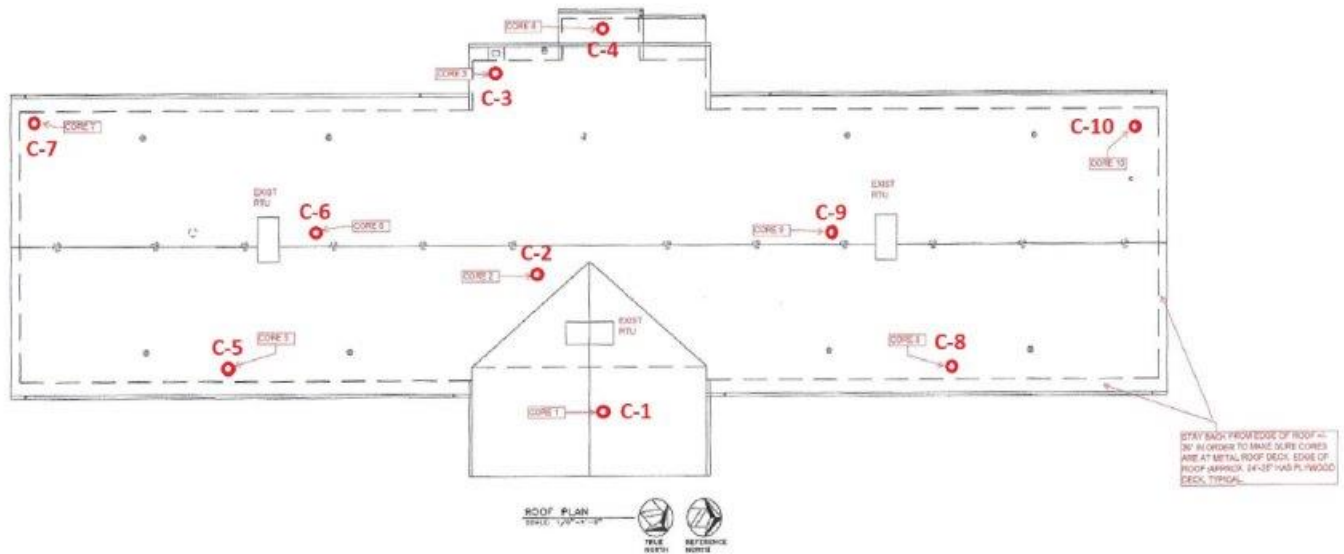
Samples will be disposed of 30 days after analysis





# Roof Sample Locations

## 1344 W. Seneca Street, Tiffin, Ohio





## **PRE-BID MEETING MINUTES**

**PROJECT:** Health Partners of Western Ohio – Tiffin Community Health Center

**DATE:** September 12, 2018

**TIME:** 3:00 p.m.

**PLACE:** Health Partners of Western Ohio – Tiffin Community Health Center, 1344 W. Seneca Ave., Tiffin, OH

### **1. INTRODUCTIONS:**

- Attendance Sheet was passed around for those in attendance to sign.
- Architect's Project No.: 72-2351-17.
- Bid Documents consist of Drawings and Project Manual.
- Tony Hovest of TDG opened the meeting with introductions and outlined the project scope.

### **2. BID DATE:**

- Wednesday, October 10, 2018 at 3:00 p.m.
- Bids shall be received at Health Partners of Western Ohio – Attn: Kimberly Taflinger, Chief Analytics Officer, 329 N. West Street (2<sup>nd</sup> Floor), Lima, Ohio
- Bids will be privately opened

### **3. QUESTIONS (RFI):**

- E-mail to [info@technicondesigngroup.com](mailto:info@technicondesigngroup.com) Copy: [kevinw@technicondesigngroup.com](mailto:kevinw@technicondesigngroup.com)
- All questions to Architect by 9:00 am on October 5th

### **4. BID FORM AS PUBLISHED:**

- Submit as published
- Acknowledge Addendum(s)

### **5. BID SUBMITTAL:**

- Bid Form – signed and completed
- Include List of Subcontractors with Bid
- No Bid Security is required – a Performance Bond is called out as Alternate 1 in the Bid Form.

### **6. GENERAL NOTES:**

- General Contractor and Sub-Contractors shall coordinate their work with the Dental Equipment Contractor, Fire Suppression Contractor and Security Contractor retained by the Owner under separate contract agreements.
- Project will be constructed under a single prime general contract.

### **7. TIMELINE:**

- Construction work shall start on date established in the Notice to Proceed. All work shall be substantially complete in 270 consecutive days.
- Last addendum will be issued no later than 48 Hrs. (2 working days) prior to bid due date – Monday, October 8, 2018 by 3:00 pm. Any issued addendum will be distributed via email. (General Contractor is responsible for distributing any issued addendum to their sub-contractors.)

**8. CONTRACT DOCUMENTS:**

- Plans have been submitted by Richland County Department of Building Regulations for plan review and approval.
- The local zoning permit from Hopewell Township has been issued.

**9. BUILDING WALK-THRU:**

- The scheduled time when contractors and their invited sub-contractors can walk-thru and review the existing facility is Wednesday, September 26, 2018 from noon to 3:00 pm.

**10. QUESTIONS FROM ATTENDEES AT MEETING**

- Could a self-adhered vapor barrier over existing metal deck be considered and added to the Bid Documents? *TDG will review this suggestion and address it on a future Addendum.*
- Is there a fire alarm system in the building? *The new fire suppression system riser / Fire Alarm System and HVAC Unit Duct Detectors will be monitored by the Security System. There is not a Fire Alarm System specified with pulls, horns, strobes, etc. for the rest of the building.*
- Is there new framing indicated for the new roof top units? *Yes, there is new steel framing detailed on the Structural Drawings.*
- Could aluminum storefront windows be considered as an alternate window system to the window system presently specified? *TDG will review this suggestion and address it on a future Addendum.*
- Is there any repair work required for the existing brick façade? *The existing brick façade is in reasonably good condition and may require minor tuckpointing and patching. The contractor is responsible to review the brick veneer façade and repair any defects as required prior to painting. Where vestibules are being removed at end of wings (2) brick is to be patched, repaired and painted as noted on the drawings. (Note: There is new brick veneer work indicated on drawings at areas of demolition.)*

*THE ABOVE REPRESENTS TECHNICON DESIGN GROUP, INC.'S INTERPRETATIONS OF THE DISCUSSIONS HELD AT THE ABOVE-MENTIONED MEETING. ANY THE ABOVE REPRESENTS TECHNICON DESIGN GROUP, INC.'S INTERPRETATIONS OF THE DISCUSSIONS HELD AT THE ABOVE-MENTIONED MEETING. ANY ERRORS, OMISSIONS, OR DISCREPANCIES SHOULD BE REPORTED TO THIS OFFICE IMMEDIATELY OR THESE NOTES WILL BE CONSIDERED AS AGREED TO BY ALL PARTIES.*

Respectfully submitted,

*Tony Hovest*

Project Manager



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## SIGN IN SHEET

### HEALTH PARTNERS OF WESTERN OHIO - TIFFIN COMMUNITY HEALTH CENTER

Pre-Bid Meeting

September 12, 2018 at 3:00 p.m.

Name:	Firm:	E-mail Address:	Telephone:	Fax:
Anne Pfleger	Charles Const.	annepfleger@charlesinc.com	419-423-5090 x109	419-423-5756
John Reinhart	Vaghen Industries	jreinhart@vaghenindustries.com	419-396-3900	
Evan Widmer	Laibe Electric	evanwidmer@laibe.com	419-724-8200	
John Schumweller	SCS	John Schumweller@construction.com	419-532-2055	
Brian Mork	Helms Construction	bmark@helmsandsons.com	419.422.7738	
Mike Roeser	WELFBROS SUPPLY	mroeser@wolfbrothers.com	567-985705	
Jason Widmer	BAYES INC.	JWIDMER@BAYESINC.COM	(567) 849-3570	
John Damm	Hask & Assoc.	hask1209@bright.net	419-447-4300	
Janie Hornum	Bowens Heating & Cooling	Janie@bhci.us	419-423-8666	
Maria Wisniewski	TDG	Kevin@technicondesigngroup.com	419-523-5323	
Ken Webster	TDG	ken@technicondesigngroup.com	419-523-5323	





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## SIGN IN SHEET

HEALTH PARTNERS OF WESTERN OHIO – TIFFIN COMMUNITY HEALTH CENTER  
Pre-Bid Meeting  
September 12, 2018 at 3:00 p.m.

Name:	Firm:	E-mail Address:	Telephone:	Fax:
Eric Mulertny	CRM	eric@crmroofting.com	419-603-6337	
Ed Clouse	Clouse Electric	edclark@clouseelectric.com	419-447-0165 419-447-0166	
Dwayne Frey	CSI	dfrey@csi.us.com	419-396-9061	
Wyatt Sherman	CSI	wsherman@csi.us.com	419-396-9061	
Al Clouse	Bromack Elec	albromackelectric@gmail.com	419-595-2074	
Aaron Herbert	KCS Ohio LLC	AAaron@KCSOHIO.com	419-618-0185	
Howie Magens	Crouse Const.	howie@clouseconstruction.com	419-934-2248	
Keith Hawkins	Arc-Star Elec + Htg	KHAWKINS.AUSTAR@AUSTAR.com	419-423-5723	
Dave Burns	Capitol Aum. & Glass	DAVE B @ Capitol-Window.com	419-217-0658	
Tim Gassner	Dandore Plg + Htg	dandoreplumbing@shcglobal.net	419-447-7964	
Jim Thompson	GARCIA SNEVERDES, LLC	JTHOMPSON@GARCIASNEVERDES.com	419-905-5415	

## **REVISED Bid Form – Stipulated Sum (Single-Prime Contract)**

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### **PROJECT:**

Building Alterations  
Tiffin Community Health Center  
1344 W. Seneca Avenue  
Tiffin, Ohio 44883

### **BIDDER:**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_

**BID DATE:** Wednesday, October 10, 2018  
**TIME:** 3:00 p.m. Local Time  
**LOCATION:** Health Partners of Western Ohio  
329 North West Street, 2<sup>nd</sup> Floor  
Lima, Ohio 45801  
Attn: Kimberly Taflinger, Chief Analytics Officer

In compliance with the Project Manual, the undersigned Bidder hereby proposes to furnish all materials and perform all work necessary for the **BUILDING ALTERATIONS – HEALTH PARTNERS OF WESTERN OHIO – TIFFIN COMMUNITY HEALTH CENTER – 1344 W. SENECA AVENUE, TIFFIN, OHIO** project in strict accordance with Contract Documents as prepared by Architect, Technicon Design Group, Inc., for the sum of money enumerated on Page 2 of this Bid Form, and within the time set forth on Page 3 of this Bid Form.

By submission of the BID, each Bidder certified, and in the case of a joint Bid, each party thereto certifies as to his/her own organization, that this BID has been arrived at independently, without consultation, communication, or agreement as to any competitor. Bids will only be considered responsive if the base bid and alternate bid requests are completed accurately and legibly for all requests within in any trade of work.

BIDDER hereby agrees to commence work under this contract upon receipt of the Notice to Proceed and to substantially complete the work by **June 14, 2019**.

BIDDER acknowledges receipt of the following ADDENDUM(S):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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**BUILDING ALTERATIONS  
TIFFIN COMMUNITY HEALTH CENTER  
1344 WEST SENECA AVENUE  
TIFFIN, OHIO 44883**

BIDDER agrees to perform all the work described in the CONTRACT DOCUMENTS for the following prices:

A. GENERAL CONSTRUCTION WORK:

TOTAL BID - LABOR & MATERIALS: \$\_\_\_\_\_

\_\_\_\_\_  
(Written Amount)

B. ELECTRICAL WORK:

SUBCONTRACTOR NAME: \_\_\_\_\_

TOTAL BID - LABOR & MATERIALS: \$\_\_\_\_\_

\_\_\_\_\_  
(Written Amount)

C. MECHANICAL WORK:

SUBCONTRACTOR NAME: \_\_\_\_\_

TOTAL BID - LABOR & MATERIALS: \$\_\_\_\_\_

\_\_\_\_\_  
(Written Amount)

D. PLUMBING WORK:

SUBCONTRACTOR NAME: \_\_\_\_\_

TOTAL BID - LABOR & MATERIALS: \$\_\_\_\_\_

\_\_\_\_\_  
(Written Amount)

**TOTAL BASE BID (Single-Prime Contract):** *(Including all work indicated in Items A, B, C and D above.)*

**TOTAL BID - LABOR & MATERIALS: \$\_\_\_\_\_**

\_\_\_\_\_  
**(Written Amount)**

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**BUILDING ALTERATIONS  
TIFFIN COMMUNITY HEALTH CENTER  
1344 WEST SENECA AVENUE  
TIFFIN, OHIO 44883**



**ALTERNATE 1:** Performance Bond - *ADD or DEDUCT* (Circle One)

TOTAL BID - LABOR & MATERIALS: \$ \_\_\_\_\_

\_\_\_\_\_  
(Written Amount)

**ALTERNATE 2:** Self-Adhered Vapor Barrier Installation - *ADD or DEDUCT* (Circle One)

TOTAL BID - LABOR & MATERIALS: \$ \_\_\_\_\_

\_\_\_\_\_  
(Written Amount)

**ALTERNATE 3:** Aluminum Fixed Storefront, Windows - *ADD or DEDUCT* (Circle One)

TOTAL BID - LABOR & MATERIALS: \$ \_\_\_\_\_

\_\_\_\_\_  
(Written Amount)

**UNIT PRICE NO. 1 (REPLACE METAL ROOF DECK; PER SQUARE FOOT COST):**

TOTAL BID - LABOR & MATERIALS / per Square Foot: \$ \_\_\_\_\_

\_\_\_\_\_  
(Written Amount / Square Foot)

**LIST OF SUBCONTRACTORS** and others proposed to be employed for the Project. (*NOTE: Please type or print firm names, etc.*)

<u>WORK</u>	<u>FIRM</u>	<u>ADDRESS</u>	<u>REPRESENTATIVE</u>

---

**BUILDING ALTERATIONS  
TIFFIN COMMUNITY HEALTH CENTER  
1344 WEST SENECA AVENUE  
TIFFIN, OHIO 44883**

***Please submit 1 copy of this Bid Form completed in its ENTIRETY.***

The successful contractor will be required to enter into an agreement with the owner according to A.I.A. Document A101: Standard Form of Agreement Between Owner and Contractor, 2007 Edition.

SUBMITTED BY:

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Signature

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Title

---

Address

---

Date

---

**BUILDING ALTERATIONS  
TIFFIN COMMUNITY HEALTH CENTER  
1344 WEST SENECA AVENUE  
TIFFIN, OHIO 44883**

## SECTION 012100 - ALLOWANCES

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
- B. Types of allowances include the following:
  - 1. Lump-sum allowances.
  - 2. Unit-cost allowances.
  - 3. Quantity allowances.
  - 4. Contingency allowances.
- C. Related Requirements:
  - 1. Section 012200 "Unit Prices" for procedures for using unit prices, including adjustment of quantity allowances when applicable.

#### 1.2 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise Architect of the date when final selection, or purchase and delivery, of each product or system described by an allowance must be completed by the Owner to avoid delaying the Work.
- B. At Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

#### 1.3 ACTION SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances in the form specified for Change Orders.

#### 1.4 INFORMATIONAL SUBMITTALS

- A. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- B. Submit time sheets and other documentation to show labor time and cost for installation of allowance items that include installation as part of the allowance.

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**BUILDING ALTERATIONS  
TIFFIN COMMUNITY HEALTH CENTER  
1344 WEST SENECA STREET  
TIFFIN, OHIO 44883**

- C. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

#### 1.5 LUMP-SUM ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include taxes, freight, and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner or selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.

#### 1.6 UNIT-COST ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include taxes, freight, and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner or selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.

#### 1.7 QUANTITY ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include taxes, freight, and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner or selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.

#### 1.8 CONTINGENCY ALLOWANCES

- A. Use the contingency allowance only as directed by Architect for Owner's purposes and only by Change Orders that indicate amounts to be charged to the allowance.
- B. Contractor's overhead, profit, and related costs for products and equipment ordered by Owner under the contingency allowance are included in the allowance and are not part of the Contract Sum. These costs include delivery, installation, taxes, insurance, equipment rental, and similar costs.

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**BUILDING ALTERATIONS  
TIFFIN COMMUNITY HEALTH CENTER  
1344 WEST SENECA STREET  
TIFFIN, OHIO 44883**

- C. Change Orders authorizing use of funds from the contingency allowance will include Contractor's related costs and reasonable overhead and profit.
- D. At Project closeout, credit unused amounts remaining in the contingency allowance to Owner by Change Order.

#### 1.9 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, prepare a Change Order proposal based on the difference between purchase amount and the allowance, multiplied by final measurement of work-in-place where applicable. If applicable, include reasonable allowances for cutting losses, tolerances, mixing wastes, normal product imperfections, and similar margins.
  - 1. Include installation costs in purchase amount only where indicated as part of the allowance.
  - 2. If requested, prepare explanation and documentation to substantiate distribution of overhead costs and other markups.
  - 3. Submit substantiation of a change in scope of Work, if any, claimed in Change Orders related to unit-cost allowances.
  - 4. Owner reserves the right to establish the quantity of work-in-place by independent quantity survey, measure, or count.
- B. Submit claims for increased costs because of a change in scope or nature of the allowance described in the Contract Documents, whether for the purchase order amount or Contractor's handling, labor, installation, overhead, and profit.
  - 1. Do not include Contractor's or subcontractor's indirect expense in the Change Order cost amount unless it is clearly shown that the nature or extent of Work has changed from what could have been foreseen from information in the Contract Documents.
  - 2. No change to Contractor's indirect expense is permitted for selection of higher- or lower-priced materials or systems of the same scope and nature as originally indicated.

#### PART 2 - PRODUCTS (Not Used)

#### PART 3 - EXECUTION

##### 3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

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**BUILDING ALTERATIONS  
TIFFIN COMMUNITY HEALTH CENTER  
1344 WEST SENECA STREET  
TIFFIN, OHIO 44883**

### 3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

### 3.3 SCHEDULE OF ALLOWANCES

- A. Allowance No. 01 – Replace existing roof deck: Include in the quantity of 2,400 square feet of Type B deck (see Section 053100, paragraph 2.2) as indicated on roof framing plan on sheet S101. Minimum replacement area is 12-0 +/- triple span condition by the deck manufacturer's standard width.

END OF SECTION 012100

## **REVISED SECTION 012200 - UNIT PRICES**

### **PART 1 - GENERAL**

#### **1.1 SUMMARY**

- A. Section includes administrative and procedural requirements for unit prices.
- B. Related Requirements.

#### **1.2 DEFINITIONS**

- A. Unit price is an amount incorporated into the Agreement, applicable during the duration of the Work as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.

#### **1.3 PROCEDURES**

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.
- B. Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: A schedule of unit prices is included in Part 3. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.

#### **1.4 UNIT-COST**

- A. Unit Cost shall include cost to Contractor of specific products and materials outlined in the drawings by Architect and shall include taxes, freight and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner or selected by Architect shall be included as part of the Unit-Cost.

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**BUILDING ALTERATIONS  
TIFFIN COMMUNITY HEALTH CENTER  
1344 WEST SENECA AVENUE  
TIFFIN, OHIO 44883**

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF UNIT PRICES

A. Unit Price No 1 – Replace Metal Roof Deck:

1. Description: Unit Cost for replacement of existing metal deck that is deemed necessary to replace with new 22 gauge primed metal deck (per deck manufacturer's standard deck panel width) x 12'0" l. (triple span condition). Attached to roof joists/framing as indicated on sheet S101 Detail 6/S101.
2. Unit Of Measurement: Per square foot.
3. Quality Assurance: Price with allowance adjustment requirements in General Requirement "Allowance." Allow the square footage of metal roof deck replacement as indicated in Section 012100 "Allowances" and on roof plan indicated on Sheet S101.

END OF *REVISED* SECTION 012200

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BUILDING ALTERATIONS  
TIFFIN COMMUNITY HEALTH CENTER  
1344 WEST SENECA AVENUE  
TIFFIN, OHIO 44883

*REVISED* UNIT PRICES

012200 - 2R



## **REVISED SECTION 012300 - ALTERNATES**

### **PART 1 - GENERAL**

#### **1.1 SUMMARY**

- A. Section includes administrative and procedural requirements for alternates.

#### **1.2 DEFINITIONS**

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
  - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
  - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

#### **1.3 PROCEDURES**

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
  - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated revisions to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

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**BUILDING ALTERATIONS  
TIFFIN COMMUNITY HEALTH CENTER  
1344 WEST SENECA AVENUE  
TIFFIN, OHIO 44883**

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

PART 4 - SCHEDULE OF ALTERNATES

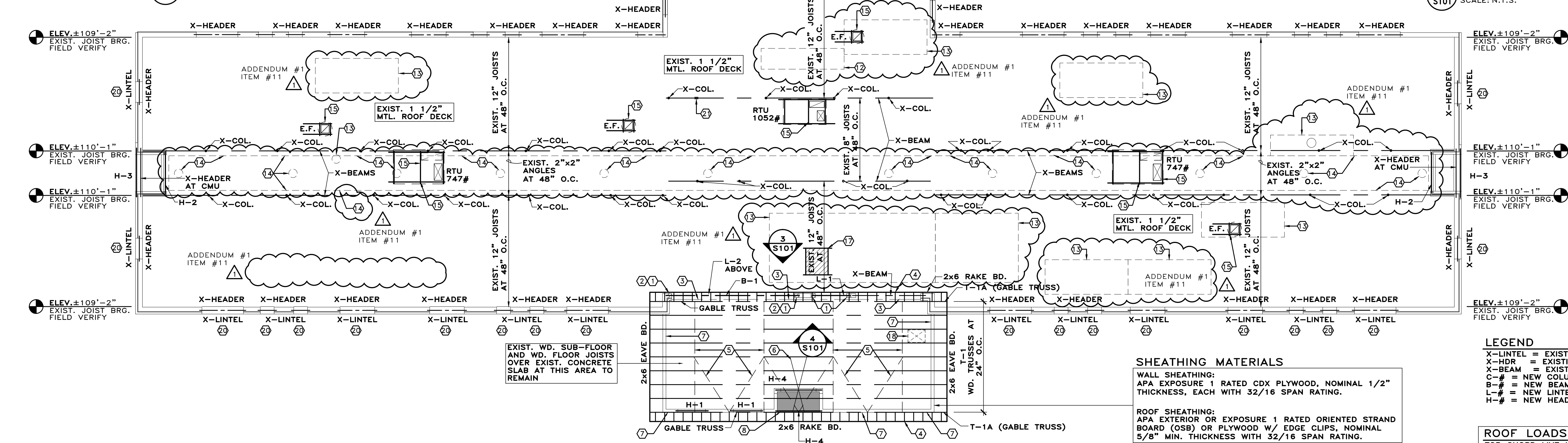
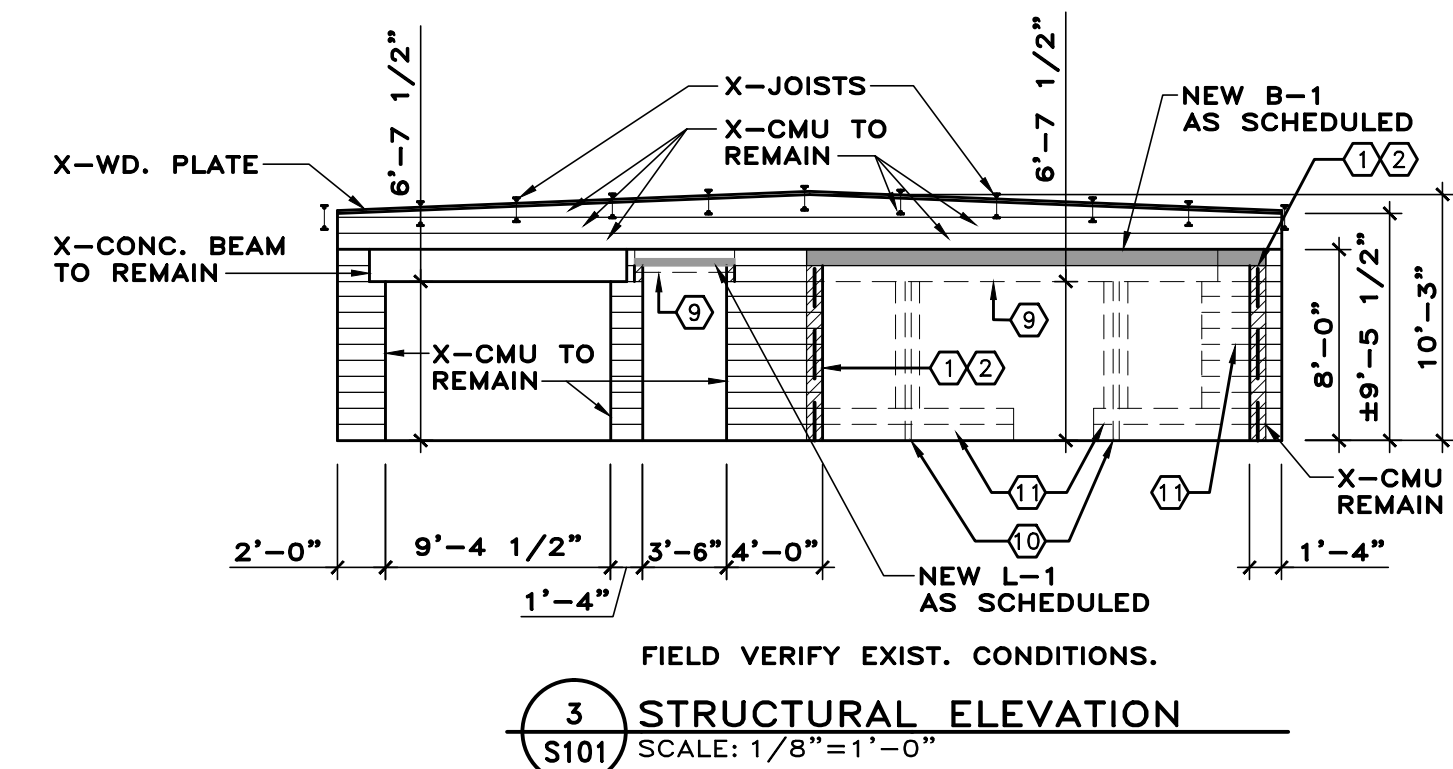
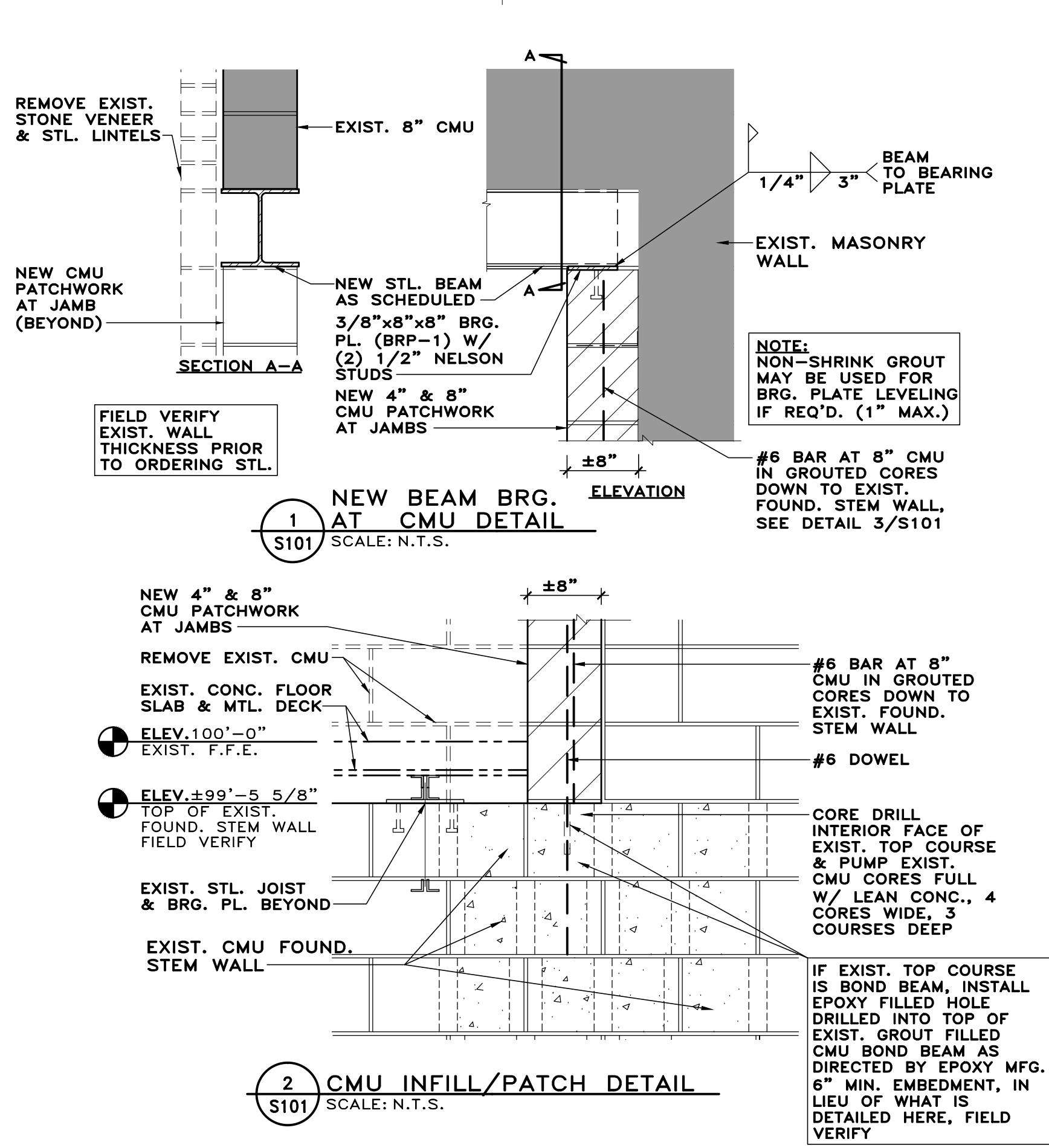
- A. ALTERNATE 1: The Contractor shall provide a cost to include a Performance Bond based on their total base bid as indicated on the Bid Form. If the Owner accepts this Alternate, the Contractor shall provide an executed Performance Bond for this project written on AIA Document A312, included for reference.
- B. ALTERNATE 2: The Contractor shall provide a cost to furnish and install a self-adhesive vapor barrier over existing roof deck after existing roof tear-off and prior to installing insulation membrane roof system. Install vapor barrier according to manufacturer's requirements.
- C. ALTERNATE 3: The Contractor shall provide a cost to furnish and install aluminum fixed storefront windows (Kawneer 451T or equal; see specification section 084113) in lieu of the Desco 3250 Series for window types "A" thru "O" as indicated on sheet A602 of the drawings. Install fixed storefront windows according to contract documents and manufacturer's requirements.

END OF *REVISED* SECTION 012300

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**BUILDING ALTERATIONS  
TIFFIN COMMUNITY HEALTH CENTER  
1344 WEST SENECA AVENUE  
TIFFIN, OHIO 44883**

J:\2351 - HPWO - Tiffin Seneca Street Clinic\04 Drawings\PLAN\_500.dwg, 9/19/2018 3:34:03 PM, DWG to PDF, p3



BEAM SCHEDULE					
MARK	SIZE	END BRG. MIN.	TOP OF BEAM ELEV.	BEARING PLATE TOP ELEV.	NOTES
B-1	W8x31	6"	±108'-0"	BRP-1	1,2

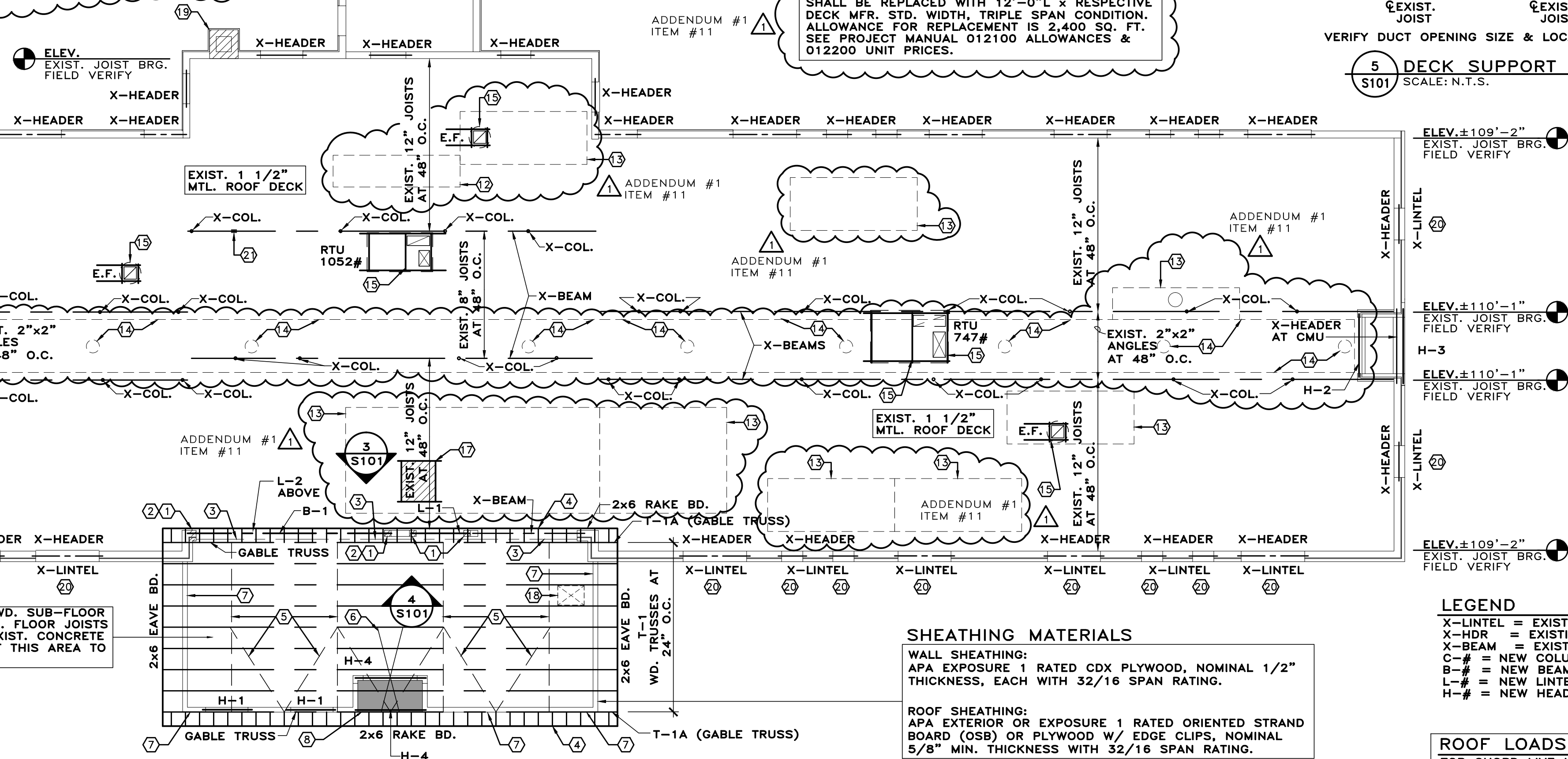
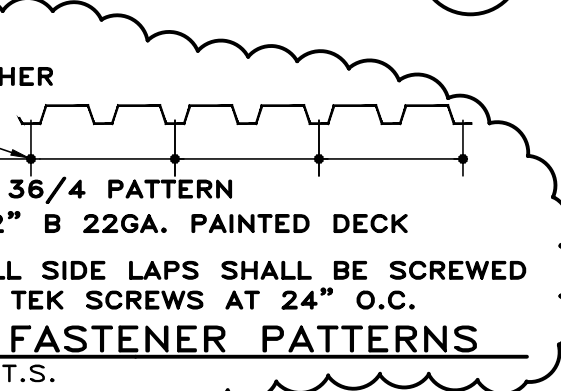
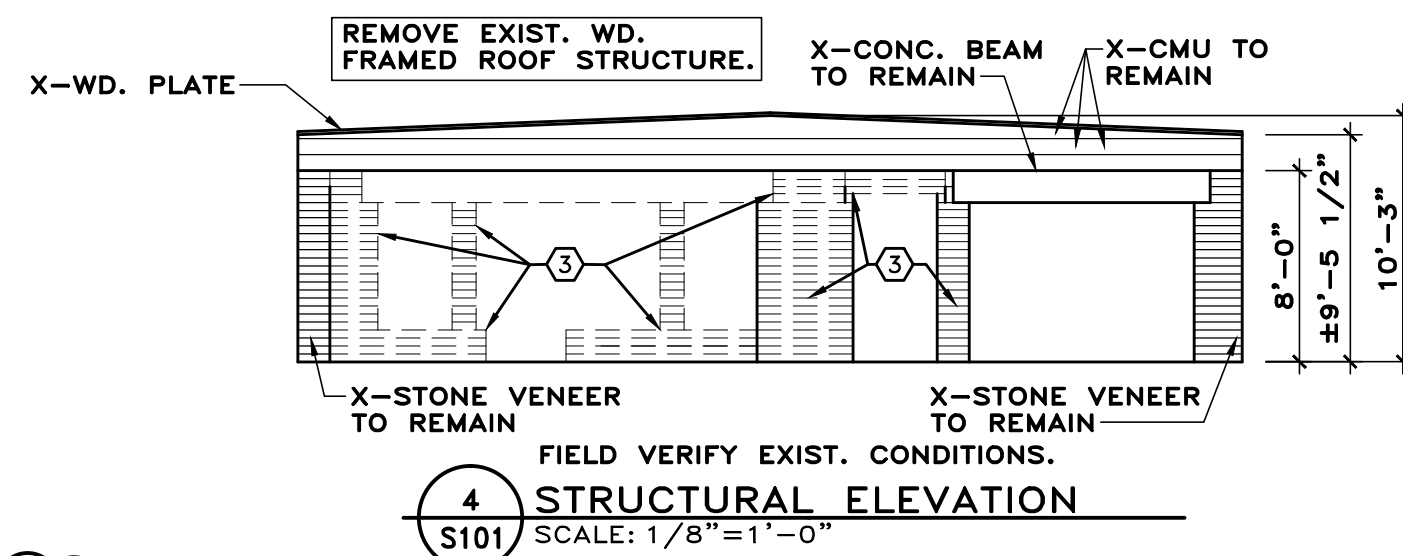
NOTES:  
1. DETAIL 2/S101.  
2. NEW BEAM AT EXIST. WALL, FIELD VERIFY EXIST. WALL THICKNESS, PRIOR TO ORDERING STL.

HEADER SCHEDULE					
MARK	SIZE	END BRG. MIN.	BEARING ELEV.	NOTES	
H-1	(2) 2x8 BOX HEADER W/ 2x6 PLATE T & B	1 1/2"	107'-2"	1,2,4	
H-2	(2) 8" 14 GA. MTL. STUDS W/ 3 5/8" 14 GA. MTL. TRACKS T & B	4"	±107'-4" FIELD VERIFY	4,5,6	
H-3	(2) P.T. 2x8s W/ 2 LAYERS 1/2" PLYWD. LAMINATED	6"	±107'-4" FIELD VERIFY	3,5	
H-4	(3) 2x8s W/ 1/2" PLYWD. LAMINATED	3"	±108'-4"	1,6	

NOTES:  
1. SYP GRADE 2 OR BETTER.  
2. COORDINATE ELEVATION W/ WINDOW HEAD HT.  
3. SECURE NEW WD. HEADER TO FACE OF EXIST. MASONRY HEADER, SECTION 2/A302.  
4. FILL HEADER VOID SPACE W/ FIBERGLASS BATT INSULATION.  
5. FIELD VERIFY EXIST. CONDITIONS & ELEVATIONS AFTER VESTIBULE DEMOLITION.  
6. COORDINATE ELEVATIONS WITH NEW DOOR FRAME HEAD HT., SEE EXTERIOR ELEV. & DOOR SCHED.

LINTEL SCHEDULE					
MARK	SIZE	END BRG. MIN.	BEARING ELEV.	NOTES	
L-1	2L 4x3 1/2x5/16"	6"	107'-4"	1	
L-2	2L 4x3 1/2x5/16"	4"	VERIFY W/ M.C.	2	

NOTES:  
1. NEW LINTEL IN EXIST. WALL, SHORE & PATCH EXIST. MASONRY AS REQ'D.  
2. AT DUCT PENETRATION, FIELD VERIFY & COORDINATE W/ M.C.

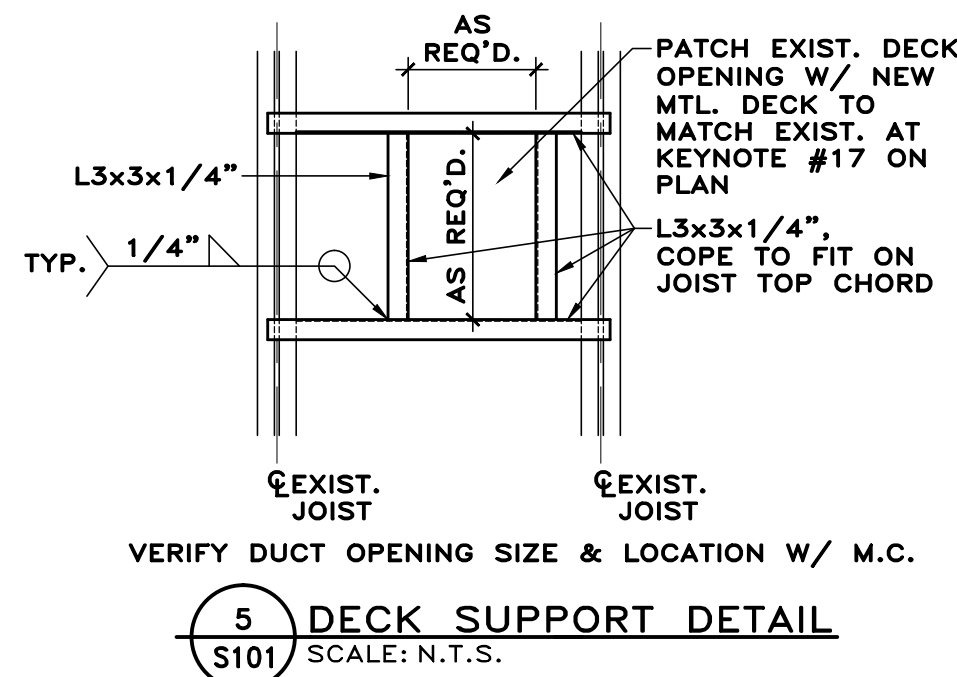


## KEYNOTE LEGEND

- CMU INFILL/PATCH TO MATCH EXIST. AT MASONRY OPENING JAMB, AS REQ'D., TIE NEW MASONRY TO EXIST. W/ MASONRY TIES AT 16" O.C., DETAIL 1 & 2/S101.
- INSTALL #6 BAR IN CMU CORE AT BEAM BEARING, GROUT CORES FULL, DETAIL 1 & 2/S101.
- REMOVE EXIST. STONE VENEER & LINTELS.
- 2x4 OUTRIGGERS AT 16" O.C. DETAIL 6/S501.
- 2x4 CONTINUOUS LATERAL BRACING AT TRUSS CHORDS AT 10'-0" O.C. MAX. & 2x4 DIAGONAL BRACING AT ±45° ANGLES AT 20'-0" INTERVALS MAX. AT THE LOCATIONS SHOWN ON THE TRUSS DESIGN DRAWINGS. BRACING SHALL BE INSTALLED IN ACCORDANCE WITH BCSI, BRACING COMPONENT SAFETY INFORMATION, JOINTLY PRODUCED BY TPI/WTCA. ALSO PROVIDE TRIANGULATING WEB BRACING. FASTEN ALL BRACES WITH (2) 0.131X3" LG. NAILS EACH CONNECTION DETAIL 3/S102.
- SWAY BRACE RUN ALONG WEB FROM TOP CHORD OF TRUSS TO BOTTOM CHORD OF ADJACENT TRUSS 8 FEET. SEE DETAIL 5 & 6/S501.
- NEW 2x6 STUD WALLS AT 16" O.C. STARTING AT EXIST. FLOOR SHEATHING, SEE SECTIONS.
- INSTALL NEW CONCRETE SLAB AS REQ'D. TO MATCH EXIST. WD. FRAMED FLOOR F.F.E. AT THIS AREA, ANCHOR NEW CONCRETE TO EXIST. STRUCTURE, SLOPE SLAB AT 2% AWAY FROM BLDG. TO NEW EXTERIOR CONCRETE RAMP LANDING, FIELD VERIFY & COORDINATE ELEVATIONS.
- REMOVE EXIST. CONC. BEAM AT EXIST. CMU.
- REMOVE EXIST. STL. COL.
- REMOVE EXIST. CMU.
- REMOVE EXIST. DECK & INSTALL NEW "B" DECK (TRIPLE SPAN CONDITION) x WIDTH REQ'D. WHERE PLMG. VENT WAS REMOVED.
- REMOVE EXIST. DECK & INSTALL NEW "B" DECK (TRIPLE SPAN CONDITION) x WIDTH REQ'D. WHERE EXIST. DECK IS SEVERLY RUSTED &/OR WHERE EXISTING ROOF PENETRATION WAS REMOVED.
- REMOVE EXIST. ATTIC VENTS & DECK, INSTALL NEW "B" DECK (TRIPLE SPAN CONDITION) x WIDTH REQ'D. WHERE EXIST. ATTIC VENTS WERE REMOVED AT RIDGE.
- INSTALL DECK SUPPORT AT ROOF MTD. EQP. & DUCT PENETRATION, COORDINATE SIZE & LOCATION W/ M.C., DETAIL 5/S10, SEE MECH. DWGS.
- INSTALL CURB & DECK SUPPORT WHERE RTU WAS REMOVED, INSTALL 1 1/2" 22 GA. MTL. ROOF DECK AS REQ'D. TO CLOSE OPENING, FIELD VERIFY. DETAIL 5/S101 SIMILAR. ATTACH EXIST. DECK & NEW DECK (PATCH) TO SUPPORT FRAMING W/ #10 TEK SCREWS.
- ATTIC ACCESS PANEL DETAIL 2/A111, COORDINATE LOCATION W/ TRUSSES AND CEILING GRID.
- REMOVE EXIST. CHIMNEY TO BELOW ROOF DECK. PATCH ROOF DECK W/ NEW 1 1/2" MTL. ROOF DECK, INSTALL SUPPORT FRAMING AS NECESSARY, FIELD VERIFY.
- PAINT EXIST. STL. LINTEL.
- REMOVE EXIST. REMAINING CAP PLATE & COLUMN STUB AT BOT. OF BEAM, INSTALL NEW (4)2x4 #2 SYP SOLID BLOCKING FROM BOT. OF BEAM TO FLOOR WHERE ORIGINAL COLUMN WAS PREVIOUSLY REMOVED BY OTHERS.

## GENERAL ROOF FRAMING NOTES

- TRUSS TAIL LENGTH AND LOCATION PER CONTRACTOR AND TRUSS MFR.
- ALL EAVES AND RAKES MEASURED FROM INSIDE OF SHEATHING.
- ALL TRUSSES SET AT 24" O.C. MAXIMUM, SEE PLAN. DIMENSION SHOWN ARE TO CENTERLINE OF TRUSS, UNLESS NOTED OTHERWISE.
- TRUSS FABRICATOR SHALL VERIFY ALL DIMENSIONS INCLUDING BUT NOT LIMITED TO SPAN, HEIGHT, PITCH, ETC.
- ALL DIMENSIONAL LUMBER ROOF RAFTERS (IF ANY INDICATED) SHALL BE GRADE 2 SOUTHERN YELLOW PINE (SYP) OR BETTER AT 16" O.C.
- ALL ANCHORAGE P'S SHALL BE BY SIMPSON STRONG-TIE OR APPROVED EQUAL. CONTRACTOR SHALL VERIFY MODEL NO. OF ANCHORS WITH LATEST CATALOG OR =.
- WOOD TRUSS SYSTEM SHALL BE FABRICATED PER TRUSS MFR. G.C. SHALL PROVIDE ENGINEERED DESIGN DATA & ACTUAL ROOF FRAMING PLAN PER ROOF LOADS SHOWN. MAX. TRUSS SPACING SHALL BE 24" O.C. MAX. PROVIDE 4 SETS OF ENGINEERED TRUSS DRAWINGS SEALED BY AN OHIO REGISTERED ENGINEER OR ARCHITECT.
- G.C. TO USE 0.131X3" LG. OR 16d COATED NAILS AT ALL FRAMING CONNECTIONS, MIN.
- BRACING SHOWN IS FOR BIDDING PURPOSES ONLY. ACTUAL BRACING SHALL BE INSTALLED PER TRUSS MFR. RECOMMENDATIONS.
- TRUSS DIMENSIONS PROVIDED ARE FOR BIDDING PURPOSES ONLY. TRUSS MFR. TO VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
- G.C. SHALL VERIFY AND COORDINATE ALL TRUSS BEARING ELEVATIONS PRIOR TO STARTING WORK.
- G.C. SHALL REVIEW ALL ARCHITECTURAL SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION AND APPROXIMATE TRUSS PROFILES, ALSO COORDINATE W/ MECHANICAL DWGS. & M.C.
- SEE BUILDING & WALL SECTIONS FOR ALL TRUSS BEARING ELEVATIONS.
- G.C. & TRUSS MFR. TO REVIEW EXTERIOR ELEVATIONS, ROOF PLAN & SECTIONS FOR ROOF LINES.
- TRUSS SUPPLIER SHALL DESIGN AND PROVIDE ALL TRUSS TO TRUSS CONNECTORS AND SPECIAL FASTENERS IF REQUIRED.
- ALL TRUSSES SHALL BE PROVIDED IN ACCORDANCE WITH ANSI/TPI-1 02. LUMBER USED FOR TRUSSES MUST BE #2 MINIMUM GRADE, WOOD SPECIES SHALL BE AS REQUIRED BY TRUSS DESIGNER/MFR. TO MEET OR EXCEED ALL LIVE, DEAD & OTHER LOADS AT TOP & BOTTOM CHORDS BASED ON PITCH, SPAN & LOAD INFORMATION INDICATED ON THESE DRAWINGS &/OR UNDER DESIGN LOAD DATA ON THE COVER SHEET.
- NUMBER OF PLYS FOR EACH TRUSS GIRDER (IF ANY) SHALL BE AS DESIGNED BY TRUSS MFR.
- ALSO SEE WALL SECTIONS, DOOR & WINDOW TYPES FOR DOOR & WINDOW HEAD & LINTEL BRG. HEIGHTS. VERIFY R.O. REQUIREMENTS W/ DOOR & WINDOW MFR. & INSTALL HEADERS & LINTELS ACCORDINGLY. ALLOW FOR SHIMS, ETC..
- FIELD VERIFY EXISTING CONDITIONS AT EXIST. WOOD FRAMED & CMU & STL. FRAMED BLDG. VERIFY ALL EXIST. BEARING HEIGHTS & COMPONENT SIZES, SPACINGS, ETC..



## SHEATHING MATERIALS

WALL SHEATHING:  
APA EXPOSURE 1 RATED CDX PLYWOOD, NOMINAL 1/2" THICKNESS, EACH WITH 32/16 SPAN RATING.

ROOF SHEATHING:  
APA EXTERIOR OR EXPOSURE 1 RATED ORIENTED STRAND BOARD (OSB) OR PLYWOOD W/ EDGE CLIPS, NOMINAL 5/8" MIN. THICKNESS WITH 32/16 SPAN RATING.

## LEGEND

X-LINTEL = EXISTING STL. LINTEL  
X-HDR = EXISTING WD. HEADER  
X-BEAM = EXISTING STL. BEAM  
C-# = NEW COLUMN AS SCHEDULED  
B-# = NEW BEAM AS SCHEDULED  
L-# = NEW LINTEL AS SCHEDULED  
H-# = NEW HEADER AS SCHEDULED

## ROOF LOADS

TOP CHORD LIVE LOAD: 20 P.S.F.  
TOP CHORD DEAD LOAD: 10 P.S.F.  
BOT. CHORD DEAD LOAD: 10 P.S.F.  
BOT. CHORD LIVE LOAD: 0 P.S.F.

SEE DESIGN LOAD DATA ON COVER SHEET FOR ADDITIONAL LOAD INFO.

**BUILDING ALTERATIONS**  
**HEALTH PARTNERS OF WESTERN OHIO**  
**TIFFIN COMMUNITY HEALTH CENTER**  
**1344 W. SENECA AVENUE**  
**TIFFIN, OHIO 44883**

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## FRAMING PLAN STRUCTURAL DETAILS

## ISSUED DATE

06-13-18 PROGRESS MEETING  
08-02-18 REVIEW/COORDINATION  
08-16-18 FOR PERMITS  
08-23-18 FOR BIDDING  
09-19-18 ADDENDUM 1

DRAWN BY: KW  
CHECKED BY: TJH  
DATE: 10-17  
PLOT SCALE: 1:1  
JOB NO. 72-2351-17  
SHEET S101  
OF 2 SHEETS



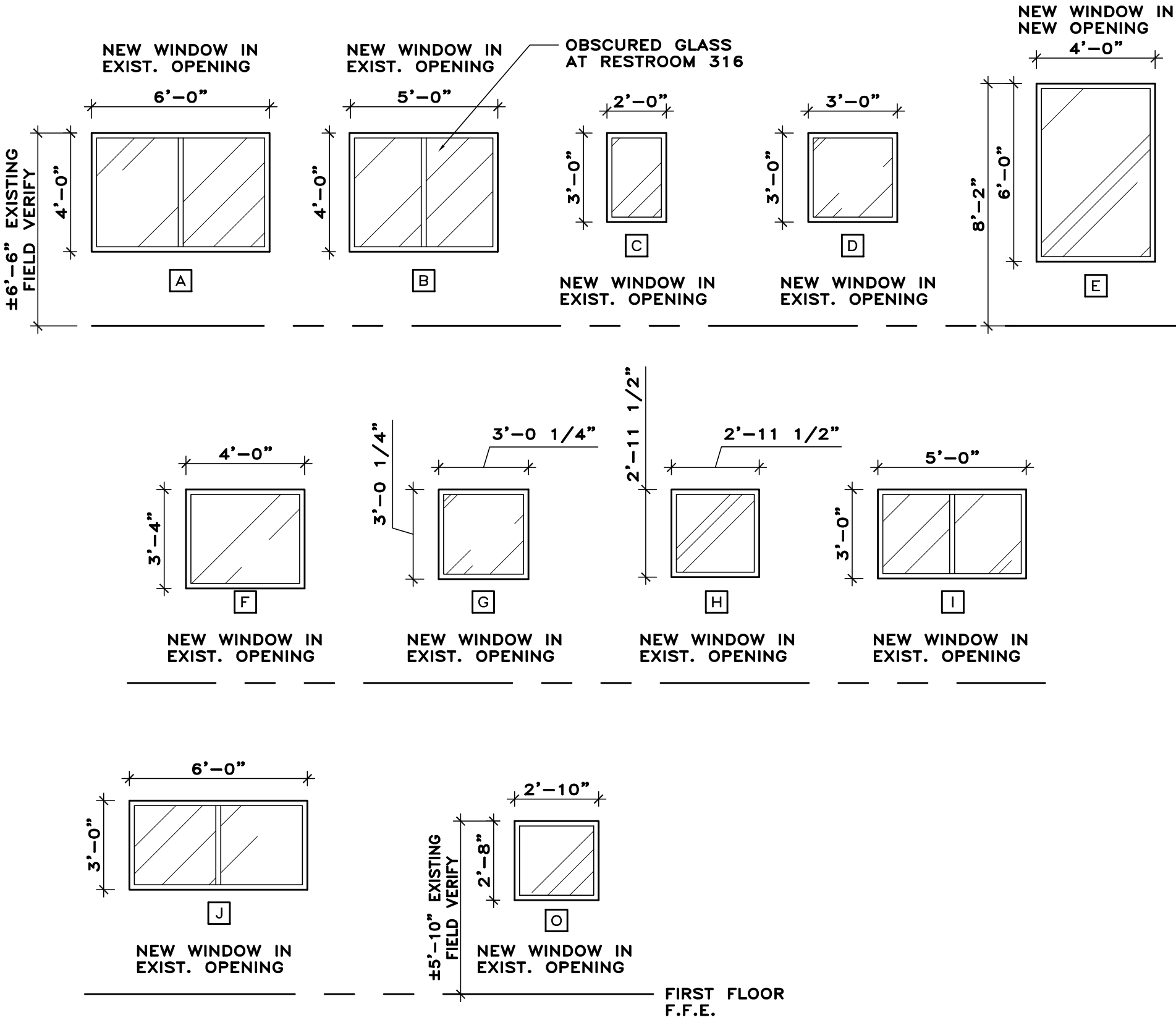


ADDENDUM 1  
ITEM #13  
ALTERNATE #3



THERMALLY BROKEN ALUMINUM WINDOW FRAME W/ 1" INSUL.  
LOW-E SOLAR BAN 60 GLAZING. KAWNEER 451T 4 1/2" x 2" FACE.  
FRAME FINISH: ANODIZED, COLOR: DARK BRONZE.  
BASIS OF DESIGN: KAWNEER 451T  
SEE PROJECT MANUAL FOR APPROVED EQUALS.

WINDOW TYTPES: A B C D F G H I J K L M N O



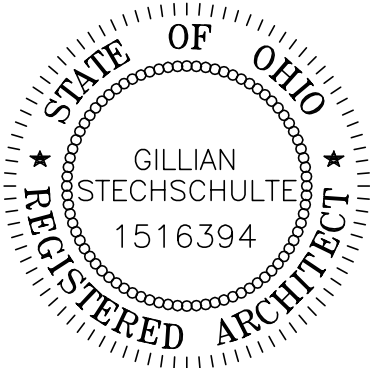
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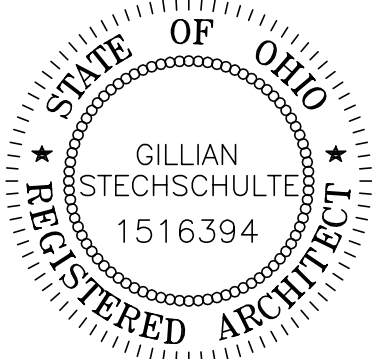
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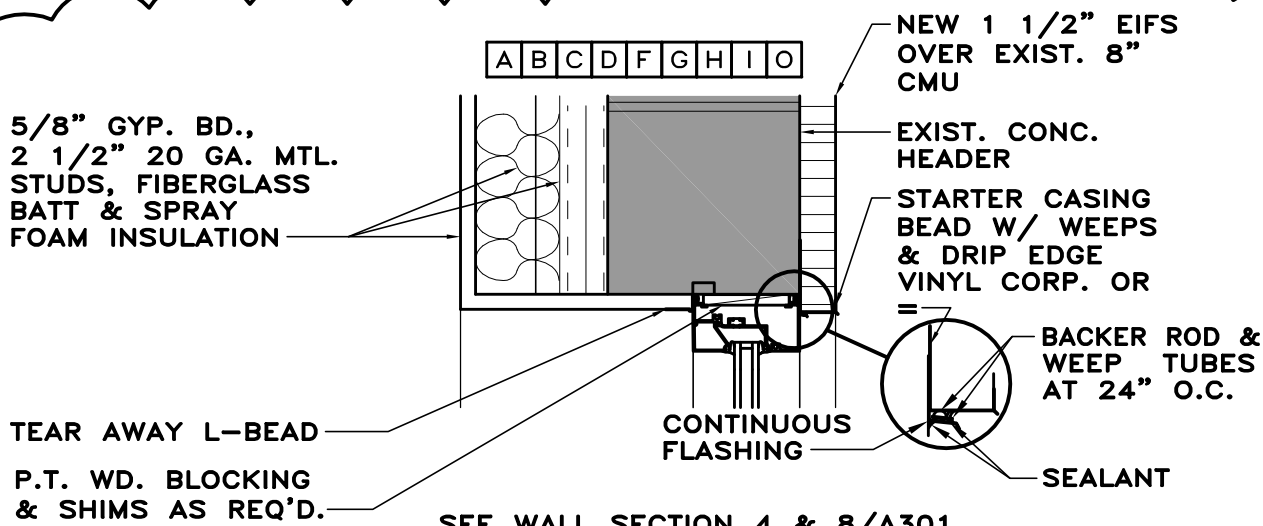


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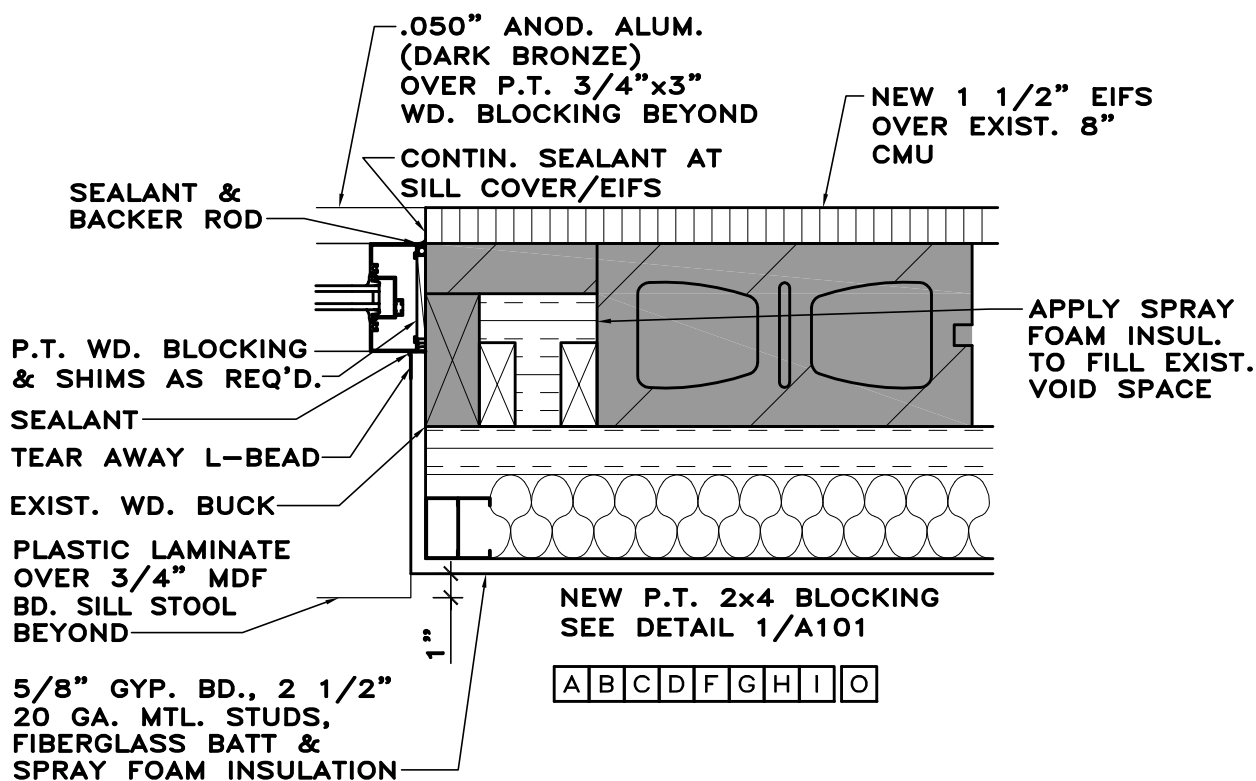
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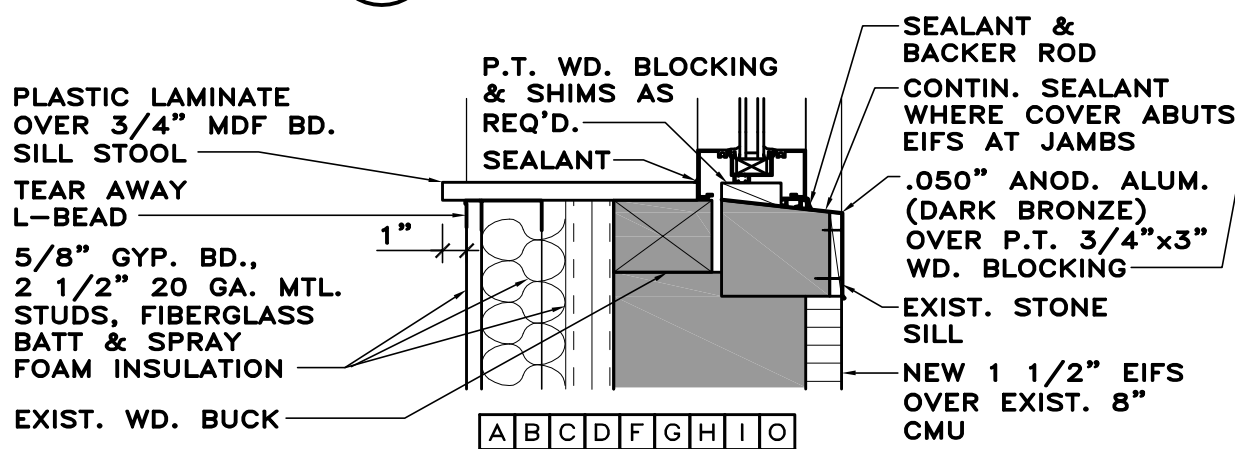
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6 WINDOW HEAD DETAIL  
A602 SCALE: 1 1/2"=1'-0"



5 WINDOW JAMB DETAIL  
A602 SCALE: 1 1/2"=1'-0"



4 WINDOW SILL DETAIL  
A602 SCALE: 1 1/2"=1'-0"

1

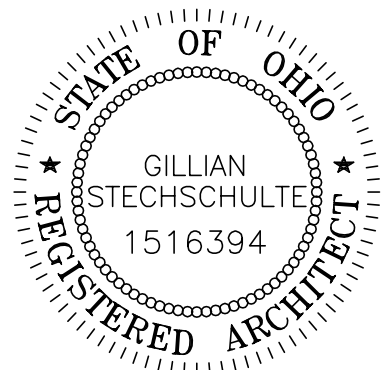
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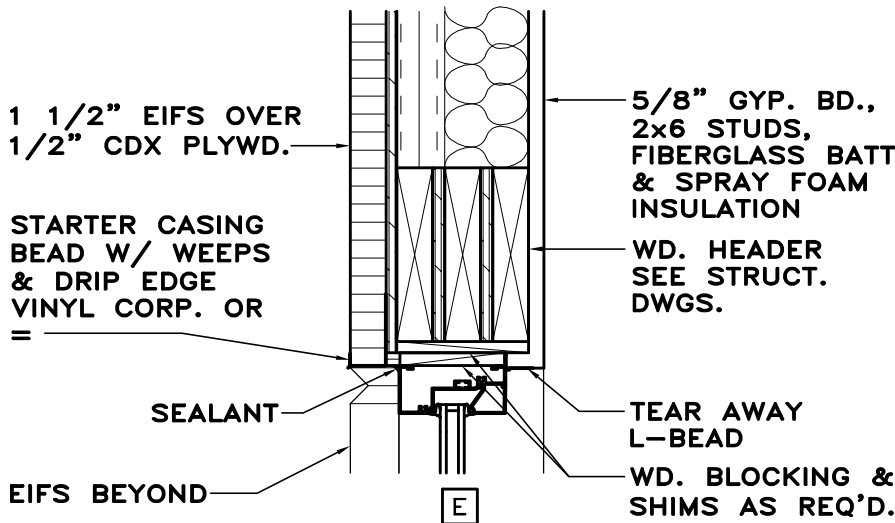
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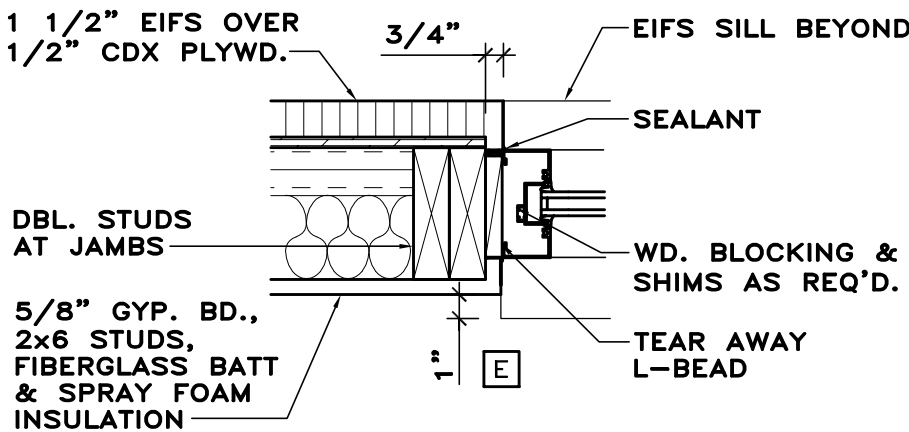
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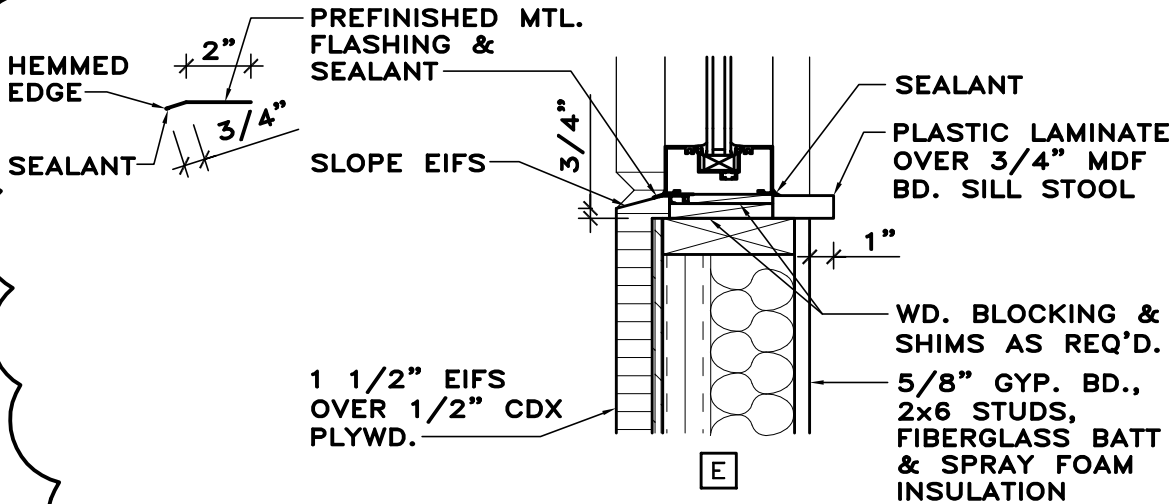
SEE WALL SECTION 3 & 5/A303

3 WINDOW HEAD DETAIL  
A602 SCALE: 1 1/2"=1'-0"



SEE WALL SECTION 3 & 5/A303

2 WINDOW JAMB DETAIL  
A602 SCALE: 1 1/2"=1'-0"



SEE WALL SECTION 3 & 5/A303

1 WINDOW SILL DETAIL  
A602 SCALE: 1 1/2"=1'-0"

1

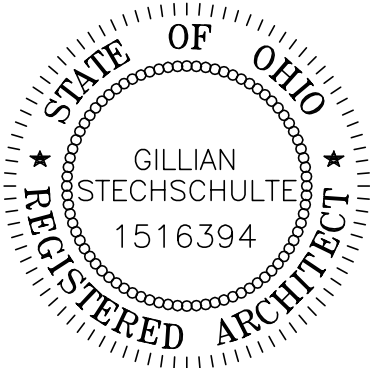
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